

Article II, Section 6.A.3

15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (insert Article, Section (s) of the Zoning Ordinance which permits the proposed use of the property):

14. The applicant seeks to (Describe what you are amending from the original approval in as much detail as possible): Amend variance approval to obtain additional relief for front stair setbacks for Lot 3B-R, readjust lot area calculations for Lots 3A-R & 3B-R to account for adjustment to abutting sideyard property separation boundary line, obtain additional rear yard setback relief for rear stairs and deck for Lot 3A-R, and additional rear yard setback relief for the rear stairs for Lot 3B-R.

13. Describe what is presently located on the property (use as much detail as possible including all uses and square footage of each use): One partially complete single family semi-detached dwelling with three additional to be built.

12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts): RL-7

11. Check if you are an: owner (s) lessee (s) optionee (s) (if you are not the owner of the subject property and are a lessee or optionee, it is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)

10. Email: annaszeto.fm@gmail.com

9. Telephone: (774) 696-3814

8. Address of Applicant: 90 Madison Street, Suite 610, Worcester, MA 01608

7. NAME OF APPLICANT(S): JAE, LLC

6. City of Worcester Assessor's Office Map 34 Block 010 Lot 00004:0004A:0004B:0004C (List MBL number for the subject property as listed at Assessor's Office)

5. Worcester District Registry of Deeds (WDRD) Book(s) 67595, Page(s) 247 (List Book and Page number of deed filed for the subject property as recorded at the WDRD)

4. Address (es) of owner of record is /are 90 Madison Street, Suite 610, Worcester, MA 01608

(The owner of record is the person or entity who owns title to the property as of today's date)

3. OWNER OF RECORD: JAE Wor, LLC

2. Is this property known by any other address: No.

1. Assessor's ADDRESS OF SUBJECT PROPERTY: 70 & 74 Valmor St. & 21 & 25 Maranda St. (List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).

1. Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:
The Applicant has already secured necessary approvals from three separate boards for the proposed work which take in to account the unique site conditions that exist and the design of the structures to be built thereon. Strict literal compliance with the Zoning Ordinance would require significant modifications to be made to the existing structure which would present a financial hardship for the Applicant and detract from the overall appearance of the structure.
2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:
The sloped topography on the site combined with the need to conform to the approved building design constitutes a hardship that especially affects this property in a manner not generally encountered in the zoning district in which the property is located.

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

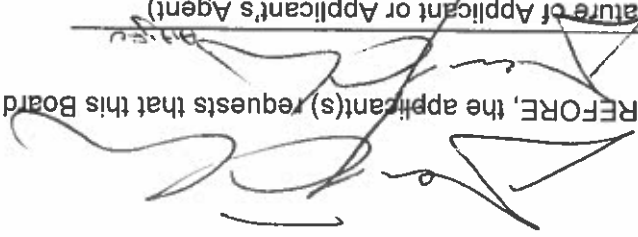
VARIANCE FINDINGS OF FACT

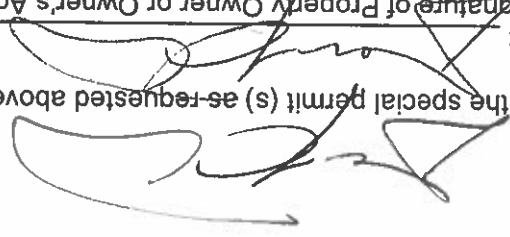
16. Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):
Planning Board approval for Site Plan 3/21/24; Conservation Commission Order of Conditions 12/4/23; Zoning Board Variance approval 12/5/22 as amended to date.
17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:
Open Building Permit issued for 70-72 Valmor Street.
18. List any additional information relevant to the Variance (s):
Applicant seeks to readjust Lot areas for Lots 3A & 3B to account for party wall placement and minor front and rear yard setback relief for the building stairs and in the case of Lot 3A the rear deck, which have been extend to account for the building height and the need comply with building code stair requirements.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:
 The requested relief is de minimis in nature and takes into account the unique site conditions associated with this site. The work performed on site is of high quality and the overall appearance of the structure constitutes an attractive addition to the surrounding neighborhood with no detriment caused to the public good nor derogation from the intent of the Zoning Ordinance.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:
 The requested relief is the minimum required for the proposed relief.

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.

BY:  (Signature of Applicant or Applicant's Agent)
 JAE, LLC
 (Name of Applicant)
 90 Madison St., Suite 610, Worcester, MA 01608
 (Address)
 (774) 696-3814
 (Contact Phone Number)
 annazeto_fm@gmail.com
 (Email)
 December 3, 2024
 (Date)

BY:  (Signature of Property Owner or Owner's Agent)
 JAE, LLC
 (Name of Property Owner)
 90 Madison St., Suite 610, Worcester, MA 01608
 (Address)
 (774) 696-3814
 (Contact Phone Number)
 annazeto_fm@gmail.com
 (Email)
 December 3, 2024
 (Date)

****ALL APPLICATION DEADLINES ARE 2:00 P.M. UNLESS OTHERWISE SPECIFIED**
 APPLICANTS ARE ENCOURAGED TO FILE BEFORE THE DEADLINE DATE WHENEVER POSSIBLE**

CERTIFICATION OF COMPLIANCE WITH WORCESTER REVISED ORDINANCES GOVERNING REVENUE COLLECTION

*Note: This form must be completed and signed by both the applicant(s) and owner(s) of the property certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a fully completed certification form with the application shall result in the application being deemed incomplete and ineligible for further processing by the Zoning Board of Appeals.

Pursuant to Massachusetts General Law, Chapter 40, Section 57 and the City of Worcester General Revised Ordinance, Chapter 11, Section 26-28, the undersigned applicant and all parties having an ownership interest therein, hereby certify, under the pains and penalties of perjury, that the applicant(s) and owner(s) have complied with the laws of the Commonwealth of Massachusetts and the City of Worcester regarding payment of all local taxes, fees, assessments, betterments or any other municipal charges of any kind.

(Give first and last names in full. In case of a corporation give names of President, Treasurer and Manager; and in case of firms, give names of individual members.)

(1) If a Proprietorship or Single Owner of residential property:

Name of Owner _____
 Business Address _____
 Home Address _____
 Business Phone _____
 Home Phone _____
 Signature of owner (certifying payment of all municipal charges): _____
 Date: _____

(2) If a Partnership or Multiple Owners of residential property:

Full names and address of all partners

Printed Names	_____
_____	_____
_____	_____
_____	_____
Addresses	_____
_____	_____
_____	_____
_____	_____
Business Address	_____
Business Phone	_____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Date: _____
 Date: _____
 Date: _____
 Date: _____

(3) If a Corporation:

Full Legal Name JAE, LLC

State of Incorporation Massachusetts

Principal Places of Business Worcester

Place of Business in Massachusetts 90 Madison St., Suite 610, Worcester, MA 01608

Printed Names of Officers of Corporation:

Joseph Charpentier
Anna Szeto

Printed Names of Owners of Corporation:

Joseph Charpentier
Anna Szeto

Address
90 Madison St., Worcester, MA 01608
90 Madison St., Worcester, MA 01608

% of stock
50%
50%

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Date: 12/13/24
Date: 12/13/24
Date: 12/13/24

Date: 12/13/24
Date: 12/13/24
Date: 12/13/24

Date: 12/13/24
Date: 12/13/24
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Date: 12/13/24
Date: 12/13/24
Date: 12/13/24

(4) If a Trust:

Name of Trust

Business Address

Printed Names of Trustees:

Address

Address

Printed Names of Beneficiaries:

Address

Address

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Date: _____
Date: _____
Date: _____
Date: _____

Date: _____
Date: _____
Date: _____
Date: _____

Date: _____
Date: _____
Date: _____
Date: _____

Date: _____
Date: _____
Date: _____
Date: _____

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Printed Name of Applicant:

Signature of Applicant:

Date: _____

Edward M. Augustus, Jr.
CITY MANAGER



CITY OF WORCESTER

ADMINISTRATION & FINANCE

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 53

Parcel Address:
Assessor's Map-Block-Lot(s):

70 & 74 VALMOR ST
21 & 25 MARANDA ST
34-010-00004, 34-010-0004C
34-010-0004B, 34-010-0004C

Owner:

JAE WOR LLC
90 MADISON ST
SUITE 610
WORCESTER, MA 01608

Owner Mailing:

Petitioner (if other than owner):
Petitioner Mailing Address:

DONALD J O'NEIL
688 PLEASANT STREET
WORCESTER, MA 01602

Planning:

Historical:

Cannabis:

Zoning: X

Liquor License:

Other:

ConComm:

CRANTZ,SCOTT + JULIE	34-012-001+4	0058 COUNTRY ST	WORCESTER, MA 01604
GITAU,PENINA W +	34-012-001+2	0087 VALMOR ST	WORCESTER, MA 01604
SMITH,PATRICIA A	34-012-001+1	0089 VALMORE ST	WORCESTER, MA 01604
LOPES,JESSICA	34-012-001+5	0056 COUNTRY ST	WORCESTER, MA 01604
ROBIDOUX,RAYMOND R + MARCIA M	34-012-001+3	0060 COUNTRY ST	WORCESTER, MA 01604
PUIG,ORAISSA + GENAO,ADRIAN M	34-010-00030	0013 MARANDA ST	WORCESTER, MA 01604
JAE WOR LLC	34-010-00004	0090 MADISON ST SUITE 610	WORCESTER, MA 01608
GINGRAS,MICHAEL T + DONNA M	34-010-002-1	0079 MARANDA ST	WORCESTER, MA 01604-2436
HALL,RICHARD W	34-010-00044	0362 HIGH ST	UXBRIDGE, MA 01569
SMALLEY,CLIFTON DONALD + KIMBERLY A	34-010-00006	0014 DUNCANNON AVE APT 3	WORCESTER, MA 01604
RITCHIE,HALEY	34-010-00198	0109 SUNDERLAND RD	WORCESTER, MA 01604
KELICKER,JEFFREY P + ANNET T	34-010-00284	0119 SUNDERLAND RD	WORCESTER, MA 01604-2443
FOSTER,JOHN	34-010-0043A	0115 SUNDERLAND RD	WORCESTER, MA 01604
CLAIREMONT,EVAN	34-010-02R-A	0084 VALMOR ST	WORCESTER, MA 01604
MEYER,MICHELLE E +	34-010-00008	0024 VALMOR ST	WORCESTER, MA 01604
ZORGE,MICHAEL	34-010-00031	0006 CORRINE ST	WORCESTER, MA 01604
SULLIVAN,LAWRENCE A + SUZANNE	34-010-00007	20 SIMONE ST	WORCESTER, MA 01604

Signature

Certified by:

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 34-010-00004, 34-010-0004A, 34-010-0004B & 34-010-004C as cited above.

JEAN, ANOULD	34-010-0044A	0016 MARANDA ST	WORCESTER, MA 01604
WESTALL, SAMANTHA	34-010-00022	0015 CORRINE ST	WORCESTER, MA 01604
OPACKI, ANGELA S + THOMAS M	34-011-00023	0022 COUNTY ST	WORCESTER, MA 01604
TOCE, MATTHEW R + MARGARET J	34-010-00001	0080 VALMOR ST	WORCESTER, MA 01604
MAHONEY, MICHAEL ANTHONY	34-010-00043	0077 CORRINE ST	WORCESTER, MA 01604
ABDULMASSIH, JOSEPH +	34-010-0043B	0028 MARANDA ST	WORCESTER, MA 01604
BOZIL, LAURETTE + JEAN WICKER +	34-012-0001A	0091 VALMOR ST	WORCESTER, MA 01604
AUCLAIR, DAWN E	34-011-00027	0047 VALMOR ST	WORCESTER, MA 01604
SANTIAGO, MARGARITA + LUZA	34-010-00021	0017 CORRINE ST	WORCESTER, MA 01604
GRAMPETRO, EDMUND B + BARBARA L	34-010-00033	0018 SIMONE ST	WORCESTER, MA 01604
PINTO, ABIGAIL + NICHOLAS	34-011-0027A	0049 VALMOR ST	WORCESTER, MA 01605
RICHARDS, KATHERINE J +	34-012-00027	0024 COUNTY ST	WORCESTER, MA 01604
TATE, SUZAN + KENYON, ANGELA	34-012-02-3R	081B VALMOR ST	WORCESTER, MA 01604
SKOCZYLAS, BETA M + HENRYK W	34-012-00001	0009 FAIRFIELD DR	DUDLEY, MA 01571
COVELLO, ANTHONY F	34-010-00272	0025 SIMONE ST	WORCESTER, MA 01604
FRECHETTE, JOSEPH GERARD	34-010-00019	0029 SIMONE ST	WORCESTER, MA 01604
LUCK, SEAN	34-012-00026	0028 COUNTY ST	WORCESTER, MA 01604
WEEMS, DARIUS A + NUGENT, KRISTAL J	34-010-0239B	0024 MARANDA ST	WORCESTER, MA 01604
COVELLO, MICHAEL R +	34-010-00018	65 CORRINE ST	WORCESTER, MA 01604
RENE, JUNIOR H + ILAS, DARLINE	34-010-00002	0125 SUNDERLAND RD	WORCESTER, MA 01604
BARTLETT, TRACY S	34-010-0239A	0026 MARANDA ST	WORCESTER, MA 01604
DUGGAN, DEBRA A	34-012-00025	0054 COUNTY ST	WORCESTER, MA 01604-2404
HIRUDAVASAMY, JOHN PAUL +	34-010-0002A	0022 PAXTON RD	SHREWSBURY, MA 01545
CLAIREMONT, EVAN + KIMBERLY	34-010-02R-B	0082 VALMOR ST	WORCESTER, MA 01604
CARRANZA, KATHERINE	34-010-0002B	0141 SUNDERLAND RD	WORCESTER, MA 01604
PERRY, JOAN F	34-010-00038	0078 VALMOR ST	WORCESTER, MA 01604
SWIDLER, RONALD A + MARIA M	34-011-00022	0018 COUNTY ST	WORCESTER, MA 01604-2404
ISUFI, AFRIM D	34-011-29-D2	0029 VALMOR ST	WORCESTER, MA 01604
ISUFI, EMINE	34-011-29-D1	0027 VALMOR ST	WORCESTER, MA 01604
DASILVA, ALESSANDRE + ROSEMAR P	34-011-0001A	0040 COUNTY ST	WORCESTER, MA 01604
LOPEZ, AGUSTIN	34-011-28-E2	0033 VALMOR ST	WORCESTER, MA 01604
DUNLEVY, KEVIN P	34-011-28-E1	339 BROOKS ST	WORCESTER, MA 01606-1303
AFABLE, JOLYON PHILIP A +	34-012-02-3L	81A VALMOR STREET	WORCESTER, MA 01604
BROUGH, AUSTIN + FERRARONE, CHLOE	34-012-00002	0079 VALMOR ST	WORCESTER, MA 01604
MUJUZIZI, MARVIN S	34-012-002-1	0077 VALMOR ST	WORCESTER, MA 01604
JAE WOR LLC	34-010-0006A	0090 MADISON ST	WORCESTER, MA 01608

Date
12/02/2024

DATE 12/12/24

VALMOR STREET

(PUBLIC - SOFT WIDTH)

RESERVED FOR REGISTRY OF DEEDS USE ONLY

REQUESTED VARIANCES:

- LOT 3A-R**
- 1.1. RELIEF OF 194.11 SF OF AREA FOR LOT 3A-R.
 - 1.2. RELIEF OF 1.3 FT FROM MIN REAR YARD SETBACK FOR COMMON STAIRS.
 - 1.3. RELIEF OF 0.6 FT FROM THE REAR DECK SETBACK.
- LOT 3B-R**
- 1.4. RELIEF OF 306.89 SF OF AREA FOR LOT 3B-R.
 - 1.5. RELIEF OF 3.4 FT FROM MIN FRONT YARD SET BACK FOR STAIRS FOR LOT 3B-R.
 - 1.6. RELIEF OF 1.3 FT FROM MIN REAR YARD SETBACK FOR COMMON STAIRS.

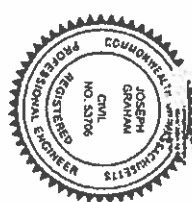
REFERENCES:

- W.D.R.D.B.K. 71039 PG. 203
- W.D.R.D.B.K. 70208 PG. 289

ZONING SUMMARY TABLE

RL-7 ZONE		LOT 3A-R	LOT 3B-R
DIMENSION REQUIRED			
MIN. LOT AREA:	4,000 SF	3,805.89	3,894.11
MIN. FRONT SETBACK	20 Ft	19.5'	13.6'
MIN. SIDE YARD SETBACK	8 FT	14.1'	12.3'
MIN. REAR SETBACK	20 Ft	14.7'	14.7'
MIN. LOT FRONTAGE	35 Ft	35.0'	40.0'
DRIVEWAY IMPERVIOUS AREA %	<50%	33.1%	30.9%

MIN SIDE SETBACK AT CORNER LOTS 15 FT



Jae Wor LLC
11111
11111
11111

Sheet No. 1 of 1
CO.1

JAE WOR LLC


**VALMOR ST. LOT 3
VARIANCE PLAN**

22205

September 18, 2024

City of Worcester, MA

I certify that twenty days have elapsed after the attached Decision for 24 Simone Street (aka 0 Valmor & 0 Maranda Street) has been filed with the City Clerk Department as of August 28, 2024 and that no appeal has been filed.



Stephen A.J. Pottle
Deputy City Clerk I



2024 00075009

Bk: 71039 Pg: 203

Page: 1 of 5 09/18/2024 11:42 AM WD



The City of Worcester
Zoning Board of Appeals

Russell Karstad, Chair
Jordan Berg Powers, Vice Chair
Anthony Dell'Aera
George Cores
Eric Torkonoo
Nathan Sabo, Alternate Member
Shannon Campanello, Alternate Member

VARIANCE APPLICATION – FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor & 0 Maranda Street) (MBL 34-010-00004)

(ZB-2024-065)

The Zoning Board of Appeals scheduled a hybrid public hearing on August 5, 2024, at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the application of JAE Wor LLC, seeking zoning relief for property located at 24 Simone Street (aka 0 Valmor & 0 Maranda Street), Worcester, Massachusetts.

Due notice of the public hearing to be held on August 5, 2024, was sent to the individuals listed on the City of Worcester Certified Abuter's list for the subject property.

On July 22 & July 29, 2024, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

On August 5, 2024, the hybrid meeting was called to order by Russell Karstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karstad and George Cores. Board members Jordan Berg Powers, Anthony Dell'Aera, and Eric Torkonoo participated remotely. Board members Nathan Sabo, and Shannon Campanello were absent. Remote participation was facilitated for attendees via phone at call-in number, 844-621-3956 (Access Code: 2630 362 4924) and via WebEx link (<https://cityofworcester.webex.com/meet/zoningboardofappealswebex>).

FINDINGS

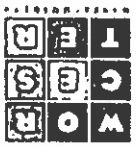
The Worcester Zoning Board of Appeals (ZBA), having conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 90 Madison Street, Suite 610, Worcester, MA 01608, is the applicant, and owner of certain land situated at 24 Simone Street in the City of Worcester, Massachusetts, and is more particularly described in a deed recorded with the Worcester District Registry of Deeds Book 67595, Page 247.
2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as RL-7 (Residence, Limited) zoning district.
3. Presently on the premises of Lots 3A and 3B are two single-family semi-detached dwellings under construction and the six remaining lots have been cleared for construction.
4. The applicant seeks to construct four semi-detached (duplex) single-family dwellings (total of 8 units), each with their own lot.
5. The following zoning relief is required and is being sought by the applicant:
Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B:

Variance:

For relief of 7.16 FT (20.46%) from the maximum 35 FT height dimensional requirement for a single-family semidetached dwelling in an RL-7 Zone (Article IV, Section 4, Table 4.2).

City of Worcester – Zoning Board of Appeals
Worcester City Hall, 455 Main Street, Room 404 (4th floor), Worcester, Massachusetts 01608
Telephone: (508) 799-1400 x 31440, Fax: (508) 799-1406
Email: planning@worcesterma.gov
Website: www.worcesterma.gov/planning-regulation



Variance:

For relief of 0.93 FT (6.2%) from the minimum 15 FT exterior side yard setback requirement for a single-family semi-detached dwelling in an RL-7 Zone (Article IV, Section 4, Note 7 to Table 4.2).

Findings of Fact – Variance:

- 6. Per Zoning Ordinance Article 11, Section 6(A)(3), the ZBA, as Permit Granting Authority, may grant upon appeal or petition with respect to particular land or structures, a variance from the dimensional terms of the Zoning Ordinance.
- a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The Applicant has secured necessary approvals for proposed construction from the various boards involved and has already framed one the four proposed structures. Reduction of the building height would require a complete building redesign and removal of portions of the building currently under construction which would involve a substantial financial hardship for the Applicant.

- b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The sloped topography on the site results in a higher building height calculation than would occur if the lots were level due to the exposed foundation measurement at ground level inclusion in the height calculation.

- c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The Applicant has proposed additional housing to help meet the demand for same. The proposed use is an allowed use in an RL-7 zone and is in keeping with the surrounding neighborhood. The requested relief takes into account the topography of the site with the mean height measurement of the structures coming in at 35 feet and presents no detriment to the public good nor substantial derogation for the intent of the Ordinance.

- d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required to allow for the proposed construction to proceed in accordance with the plans previously submitted.

DECISION

At a meeting of the Board on August 5, 2024, and on motion duly made and seconded, it was voted 5-0, with Board members Jordan Berg Powers, George Cortes, Russell Karistad, Anthony Dell'Aera, and Eric Torkornoo to approve the following requested relief:

Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B,

Lot 6A, Lot 6B;

Variance:

For relief of 7.16 FT (20.46%) from the maximum 35 FT height dimensional

requirement for a single-family semidetached dwelling in an RL-7 Zone (Article IV, Section 4, Table 4.2).

Lot 3A:

Variance:

For relief of 0.93 FT (6.2%) from the minimum 15 FT exterior side yard setback requirement for a single-family semi-detached dwelling in an RL-7 Zone (Article IV, Section 4, Note 7 to Table 4.2).

With the following conditions of approval:

1. Provided that the project is constructed in substantial accordance with the findings of fact and all final revised plans on file with the City of Worcester and in accordance with all applicable governmental codes.

Waivers

The applicant has not but should request waivers from the following plan requirements:

1. Distances from adjacent buildings.

2. The percentage of the lot covered by the principal and accessory buildings.

This decision shall not take effect until the applicant records, at their own expense, a certified copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended.

Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk. If litigated, all time periods for recording and commencement shall toll and not commence until a final, favorable decision of the Honorable Court is rendered.

It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision.

The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

ADJOURNED

RUSSELL KARLSTAD

DATE

JORDAN BERG POWERS

DATE

GEORGE CORTES

DATE

8/26/24

ANTHONY DELL'AERA

DATE

ERIC TORKORNOO

DATE

REMEMBERS

Special Permit Time Limitations: If the activity authorized by a Special Permit granted by the ZBA is not initiated within one (1) year of the date of grant (one year from date Special Permit is received by the City Clerk) and/or the activity is not completed within two (2) years, then the Special Permit shall lapse unless the Director of Code Enforcement makes a determination that the failure to complete was for good cause. City of Worcester Zoning Ordinance, Article II, Section 9.D.5.

Variance Time Limitations: If the rights authorized by a Variance are not exercised within one (1) year of the date of grant of such Variance they shall lapse. City of Worcester Zoning Ordinance, Article II, Section 9.D.7.

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C, iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and Saturday, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays. Per Chapter 9 Section 1A (e) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

RECEIVED
 WORCESTER CITY CLERK
 2024 AUG 28 PM 3:29



February 15, 2024

I certify that twenty days have elapsed after the attached Decision for 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 6A, Lot 6B has been filed with the City Clerk Department as of January 9, 2024 and that no appeal has been filed.

Stephen AJ Potte
Deputy City Clerk I



Russell Karstad, Chair
 Jordan Berg Powers, Vice Chair
 Anthony DeAra
 George Cortes
 Eric Tokomoo
 Nathan Sabo, Alternate Member
 Shanon Campanello, Alternate Member

VARIANCE EXTENSION OF TIME - FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B (MBL 34-010-00004)

ZB-2023-098

The Zoning Board of Appeals scheduled a hybrid public hearing on December 18, 2023, at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the petition of JAE Wor LLC, seeking a Variance Extension of Time for property located at 24 Simone Street, Worcester, Massachusetts.

Due notice of the public hearing to be held on December 18, 2023, was sent to the individuals listed on the City of Worcester Certified Abutter's list for the subject property.

On December 4 & December 11, 2023, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

On December 18, 2023, the hybrid meeting was called to order by Russell Karstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karstad, George Cortes, Nathan Sabo, and Eric Tokomoo Campanello. Board members Jordan Berg Powers, Anthony Dell'Aera, and Eric Tokomoo participated remotely. Remote participation was facilitated for attendees via phone at call-in number, 844-621-3956 (Access Code: 2630 362 4924) and via WebEx link (<https://cityofworcester.webex.com/meet/zoningboardofappealswebex>).

FINDINGS

The Worcester Zoning Board of Appeals (ZBA), having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 80 Madison Street, Suite 180, Worcester, MA 01608, is the owner and petitioner of certain land situated at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), recorded at the Worcester District Registry of Deeds Book 67595, Page 247.

2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as an RL-7 (Residence, Limited) zoning district.

3. Presently on the premises of 24 Simone Street is a single-family detached dwelling with a detached garage and detached barn.

4. The petitioner seeks an extension of time for the previously approved relief granted for the demolition of the existing site improvements and construction of four semi-detached (duplex) single-family dwellings (total of 8 units), each on their own lot.

5. The petitioner seeks an Extension of Time for a period of six months for the following relief:

Extension of Time

Variance: For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

City of Worcester Zoning Board of Appeals c/o Planning & Regulatory Services
 City Hall, 455 Main Street, Room 404 (4th floor), Worcester, MA 01608

P | 508-799-1400 F | 508-799-1408 E | planning@worcesterma.gov W | www.worcesterma.gov/planning-regulatory

Findings of Fact - Variance:

Per Article II, Section 6 (A)(3), the ZBA, as Permit Granting Authority, may grant upon appeal or petition with respect to particular land or structures, a variance from the dimensional terms of the Zoning Ordinance. The ZBA may grant a variance only when all statutory requirements are met, including the following findings:

a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner the right to fully utilize the area available and put said property to its highest and best use.

b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet or frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable setbacks requirements can easily be satisfied.

c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an overall density that is not inconsistent with the controls provided in the Zoning Ordinance. There are numerous existing single-family semi-detached housing units in the vicinity, thus the single-family semi-detached unit style proposed is consistent with surrounding property uses and the development character of the area and presents no detriment to the public good. All applicable building setbacks will be complied with and applicable off-street parking requirements satisfied.

d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required for the proposed use and amounts to an approximately 6.25% reduction in lot area per lot.

DECISION

At a meeting of the Board on December 18, 2023, and on motion duly made and seconded, it was voted 5-0 by Board members Russell Karstad, George Cortes, Jordan Berg Powers, Anthony Dell'Aera, and Eric Torkomoo to approve the Variance Extension of Time for a period of six (6) months, extending the expiration date to June 8, 2024, for previously granted relief:

Extension of Time

Variance:

For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2)

retaining all conditions of approval from the original decision, recorded at the Worcester District Registry of Deeds in Book 68832, Page 290.

The Extension of Time for the Variance shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by the Variance must commence no later than six months from the grant hereof. If the requested Variance are filed, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered. Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk. It was ORDERED by the Board that persons notified of the hearing be notified of the foregoing decision. The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

ADJOURNED

RUSSELL KARLSTAD

Designated by: _____
DATE 01/08/2024

JORDAN BERG-PLOWERS
Jordan Berg Plowers

Designated by: _____
DATE 01/08/2024

GEORGE CORTES

DATE _____

ERIC TORKORNOO

DATE _____

ANTHONY DELL'AERA

DATE _____

REMINDEES

Time Limitations: Per Article II, Section 9.D.7. of the City of Worcester Zoning Ordinance: If the rights authorized by a Variance are not exercised within one (1) year of the date of grant of such Variance they shall lapse. However, the permit granting authority in its discretion and upon written application by the grantee of such rights may extend the time for exercise of such rights for a period not to exceed six (6) months; and provided further, that the application for such extension is filed with such permit granting authority prior to the expiration of such one year period.
Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 6, C, iv of the City of Worcester Zoning Ordinance.
Construction Noise: No person shall operate any powered construction equipment or build, erect, construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 8:00 p.m. on weekdays and Saturdays, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays. Per Chapter 8 Section 1A (e) (g) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

24 Simone Street (2B-2023-088)
Variance - Extension of Time

ATTEST: WORC. Kathryn A. Toomey, Registrar



VARIANCE - FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B (MBL 34-010-00004)

ZB-2022-084

The Zoning Board of Appeals scheduled a hybrid public hearing on November 14, 2022 at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the petition of JAE Wor LLC, seeking eight Variances for property located at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), Worcester, Massachusetts.

Due notice of the public hearing to be held on November 14, 2022 was sent to the individuals listed on the City of Worcester Certified Abutter's list for the subject property. On October 28 & November 4, 2022, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

November 14, 2022 the hybrid meeting was called to order by Russell Karstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karstad, Shannon Campanello and George Cortes. Board members Anthony Dell'Aera, Nathan Sabo, and Jordan Berg Powers participated remotely. Board member Eric Torkomoo was absent. Remote participation was facilitated for attendees via phone at call-in number, 415-655-0001 (Access Code: 160 884 7670) and via Webex link (<https://www.webex.com/join/zoningboardofappealswebex>).

FINDINGS

The Worcester Zoning Board of Appeals (ZBA), having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 90 Madison Street, Suite 610, Worcester, MA 01608, is the owner and petitioner and of certain land situated at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), in the City of Worcester, Massachusetts, and more particularly described in deeds recorded at the Worcester District Registry of Deeds Book 67595, Page 247.
2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as an RL-7 (Residence, Limited) zoning district.
3. Presently on the premises of 24 Simone Street is a single-family detached dwelling with a detached garage and detached barn.
4. The petitioner seeks to demolish the existing site improvements and construct four semi-detached (duplex) single-family dwellings (total of 8 units), each on their own lot.
5. Each lot is deficient with respect to the minimum lot area dimensional requirement for a semi-detached dwelling in an RL-7 Zone and the applicant seeks a variance for lot area for each of the 8 lots (Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B).

6. The petitioner seeks the following:
 Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B
 Variance: For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

Findings of Fact – Variance:

7. Per Article II, Section 6 (A)(3), the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations:

a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner the right to fully utilize the area available and put said property to its highest and best use.

b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet or frontage on Vaimor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable setbacks requirements can easily be satisfied.

c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an overall density that is not inconsistent with the controls provided in the Zoning Ordinance. There are numerous existing single-family semi-detached housing units in the vicinity, thus the single-family semi-detached unit style proposed is consistent with surrounding property uses and the development character of the area and presents no detriment to the public good. All applicable building setbacks will be complied and applicable off-street parking requirements satisfied.

d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required for the proposed use and amounts to an approximately 6.25% reduction in lot area per lot.

DECISION

At a meeting of the Board on November 14, 2022, and on motion duly made and seconded, it was voted 5-0 by Board members Jordan Berg Powers, Nathan Sabo (Alternate), Anthony Dell'Aera, Shannon Campaniello Sabo (Alternate), and Russell Karstad to approve the requested 8 Variances:

Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B

Variance: For relief of 250 SF from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

With the following conditions of approval:

1. Prior to the issuance of a Building Permit provide one (1) to-scale, stamped/sealed original of a final revised site plan-set and architectural plans, and a PDF file of the same, to the Division of Planning & Regulatory Services:

- a. Reflect one (1) minimum 3.5" caliper shade street (either to be protected during construction and remain or be planted) on each lot within the front- and exterior-side yard setbacks.

- b. Label existing and proposed grades and any proposed stormwater management facilities.

- c. Demonstrate zoning compliance with respect to minimum required setbacks on Lots 3 & 4, rotating the proposed structure on Lot 3 to face Valmor Street and structure on Lot 4 to Maranda Street, and reconcile plans accordingly.

- d. Provide a revised zoning summary/dimensional table reflecting each lot.
- e. Reflect a walkway from the front-door to the driveway.

2. Post-development runoff shall not exceed pre-development runoff levels.

3. No existing drainage infrastructure (e.g. swale) on or abutting the site shall be impacted by construction.

4. Provided that the project is constructed in substantial accordance with the findings of fact and all final revised plans on file with the City of Worcester and in accordance with all applicable governmental codes.

The Board also voted unanimously to approve waivers of the following plan requirements:

1. Distances from adjacent buildings
2. Percentage of the lot covered by the principal and accessory building

Time Limitations: If the activity authorized by a Variance granted by the ZBA is not initiated within one (1) year of the date of grant (one year from date Special Permit is received by the City Clerk) and/or the activity is not completed within two (2) years, then the Variance shall lapse unless the Director of Code Enforcement makes a determination that the failure to complete was for good cause.

Per Article II, Section 8, D. 5. of the City of Worcester Zoning Ordinance:

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C. iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m., on weekdays and Saturday, and between the hours of 8:00 a.m. and 7:00 p.m., on Sundays. Per Chapter 9 Section 1A (e) (g) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

REMEMBERS

JORDAN BERG POWERS

DATE _____

ANTHONY DELL'AERA

DATE _____

NATHAN SABO (Alternate)

DATE _____

SHANNON CAMPANELLO (Alternate)

DATE 12/5/2022

RUSSELL KARLSTAD

DATE _____

ADJOURNED

The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision.

Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk.

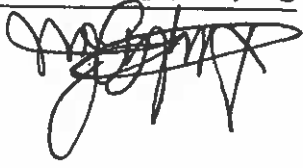
The Variance shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by the Variance is litigated, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered.

0113
2022 JAN 30 2702

City of Worcester, MA

February 2, 2023

I certify that twenty days have elapsed after the attached Decision for 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B has been filed with the City Clerk Department as of December 6, 2022 and that no appeal has been filed.



Stephen A. J. Pottle
Deputy City Clerk

ATTEST: WORC. Kathryn A. Toomey, Register

LOT 3B

VARIANCE AMENDMENT APPLICATION

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406



List information for the original Variances (s) and what the amendment to the Variance (s) includes. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	Setback required:	Square footage required:	Setback required:	Square footage required:	Setback required:
Square footage provided:	Setback provided:	Square footage provided:	Setback provided:	Square footage provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	Setback required:	Setback required:	Setback required:	Setback required:	Setback required:
Frontage provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Off-street Parking/Loading		Height		Accessory Structure	
Parking required:	Height permitted:	Height permitted:	35	Type of structure:	5-foot Setback
Parking provided:	Height provided:	Height provided:	42' 2"	Square footage of structure:	
Relief requested:	Relief requested:	Relief requested:	7' 2"	Relief requested:	
Loading required:	Loading provided:	Relief requested:		Other Variances	
Relief requested:	Relief requested:	Relief requested:		Relief requested:	
Relief requested:	Relief requested:	Zoning Ordinance Article & Section:		Requirement:	
Area permitted:	Area permitted:	Relief requested:		Provided:	
Area provided:	Area provided:				
Relief requested:	Relief requested:				
Height permitted:	Height permitted:				
Height provided:	Height provided:				
Relief requested:	Relief requested:				
Setback permitted:	Setback permitted:				
Setback provided:	Setback provided:				
Relief requested:	Relief requested:				

Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.

VARIANCE AMENDMENT APPLICATION

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406



LOT 4A

List information for the original Variances (s) and what the amendment to the Variance (s) includes. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	Setback required:	Square footage required:	Setback required:	Square footage required:	Setback required:
Square footage provided:	Setback provided:	Square footage provided:	Setback provided:	Square footage provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	Setback required:	Setback required:	Setback required:	Setback required:	Setback required:
Frontage provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Off-street Parking/Loading		Height		Accessory Structure	
Parking required:	Height permitted:	Height permitted:	35	Type of structure:	5-foot Setback
Parking provided:	Height provided:	Height provided:	42' 2"	Square footage of structure:	
Relief requested:	Relief requested:	Relief requested:	7' 2"	Relief requested:	
Loading required:	Relief requested:	Relief requested:		Relief requested:	
Loading provided:	Relief requested:	Relief requested:		Relief requested:	
Relief requested:	Relief requested:	Relief requested:		Relief requested:	
Signs		Zoning Ordinance Article & Section:		Other Variances	
Area permitted:	Relief requested:	Relief requested:		Relief requested:	
Area provided:	Relief requested:	Relief requested:		Relief requested:	
Height permitted:	Relief requested:	Relief requested:		Relief requested:	
Height provided:	Relief requested:	Relief requested:		Relief requested:	
Relief requested:	Relief requested:	Relief requested:		Relief requested:	
Setback permitted:	Relief requested:	Relief requested:		Relief requested:	
Setback provided:	Relief requested:	Relief requested:		Relief requested:	
Relief requested:	Relief requested:	Relief requested:		Relief requested:	

Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.

LOT 4B

VARIANCE AMENDMENT APPLICATION



CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

List information for the original Variances (s) and what the amendment to the Variance (s) includes. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	Setback required:	Square footage required:	Setback required:	Square footage required:	Setback required:
Square footage provided:	Setback provided:	Square footage provided:	Setback provided:	Square footage provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	Setback required:	Setback required:	Setback required:	Setback required:	Setback required:
Frontage provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Off-street Parking/Loading		Height		Accessory Structure	
Parking required:	Height permitted:	Height permitted:	Type of structure:	5-foot Setback	
Parking provided:	Height provided:	Height provided:	Type of structure:		
Relief requested:	Relief requested:	Relief requested:	Relief requested:		
Relief provided:	Relief provided:	Relief provided:	Relief provided:		
Loading required:	Relief requested:	Relief requested:	Relief requested:		
Loading provided:	Relief provided:	Relief provided:	Relief provided:		
Relief requested:	Relief requested:	Relief requested:	Relief requested:		
Relief provided:	Relief provided:	Relief provided:	Relief provided:		
Signs		Zoning Ordinance		Other Variances	
Area permitted:	Article & Section:	Article & Section:	Article & Section:	Article & Section:	Article & Section:
Area provided:	Requirement:	Requirement:	Requirement:	Requirement:	Requirement:
Area permitted:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Area provided:	Relief provided:	Relief provided:	Relief provided:	Relief provided:	Relief provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Relief provided:	Relief provided:	Relief provided:	Relief provided:	Relief provided:	Relief provided:
Setback permitted:	Setback permitted:	Setback permitted:	Setback permitted:	Setback permitted:	Setback permitted:
Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Relief provided:	Relief provided:	Relief provided:	Relief provided:	Relief provided:	Relief provided:

Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.



VARIANCE AMENDMENT APPLICATION

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

List information for the original Variances (s) and what the amendment to the Variance (s) includes. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	Setback required:	Square footage provided:	Setback provided:	Square footage required:	Setback required:
Square footage provided:	Relief requested:	Square footage provided:	Relief requested:	Square footage provided:	Relief requested:
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	Setback required:	Frontage provided:	Setback provided:	Frontage required:	Setback provided:
Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Off-street Parking/Loading		Height		Accessory Structure	
Parking required:	Height permitted:	Type of structure:	Height	Type of structure:	5-foot Setback
Parking provided:	Height provided:	Square footage of structure:	42' 2"	Square footage of structure:	
Relief requested:	Relief requested:	Relief requested:	7' 2"	Relief requested:	
Loading required:	Relief requested:	Other Variances			
Loading provided:	Relief requested:				
Relief requested:	Relief requested:				
Signs		Requirement:			
Area permitted:	Area provided:	Provided:			
Area provided:	Area provided:				
Relief requested:	Relief requested:				
Relief permitted:	Relief permitted:				
Height provided:	Height provided:				
Height requested:	Height requested:				
Setback permitted:	Setback permitted:				
Setback provided:	Setback provided:				
Relief requested:	Relief requested:				
Relief permitted:	Relief permitted:				

Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.

VARIANCE AMENDMENT APPLICATION



CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

List information for the original Variances (s) and what the amendment to the Variance (s) includes. Attach additional documentation as necessary.

Lot Area		Square footage required:	Square footage provided:	Relief requested:	Front Yard Setback	Rear Yard Setback
Frontage		Setback required:	Setback provided:	Relief requested:	Side Yard Setback	Exterior Side Yard Setback
Off-street Parking/Loading		Height permitted:	Height provided:	Relief requested:	Accessory Structure 5-foot Setback	
Parking required:	Height permitted:	35	Type of structure:	Relief requested:		
Parking provided:	Height provided:	42' 2"	Square footage of structure:	Relief requested:		
Relief requested:	Relief requested:	7' 2"	Relief requested:	Other Variances		
Loading required:	Relief requested:		Relief requested:			
Loading provided:	Relief provided:		Relief provided:			
Relief requested:	Zoning Ordinance Article & Section:		Relief requested:			
Signs		Requirement:	Relief requested:			
Area permitted:	Area provided:	Area permitted:	Area provided:			
Relief requested:	Relief requested:	Relief permitted:	Height provided:	Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.		
Relief requested:	Relief requested:	Relief permitted:	Height provided:			
Relief requested:	Relief requested:	Relief permitted:	Height provided:			
Setback permitted:	Setback permitted:	Setback provided:	Setback provided:			
Setback provided:	Setback provided:	Setback required:	Setback required:			

Article II, Section 6 A 3

Zoning Ordinance which permits the proposed use of the property:

15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the

14. The applicant seeks to (Describe what you are amending from the original approval in as much detail as possible): Obtain additional relief for building height and for side yard setback relief for the front corner of the building under construction on Lot 3A which was incorrectly set when the foundation was poured. No change to area relief previously granted.

13. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use): One partially completed single family semi-detached dwelling with three more proposed.

12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts): RL-7

11. Check if you are an: owner (s) , lessee (s) , optionee (s) (if you are not the owner of the subject property and are a lessee or optionee, it is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)

10. Email: annaszeto.fm@gmail.com

9. Telephone: (774) 696-3814

8. Address of Applicant: 90 Madison St. Suite 610, Worcester, MA 01608

7. NAME OF APPLICANT(S): JAE Wor LLC 0004B & 0004C

6. City of Worcester Assessor's Office Map 34 Block 010 Lot 00004:0004A; & (List MBL number for the subject property as listed at Assessor's Office)

5. Worcester District Registry of Deeds (WDRD) Book(s) 67595, Page(s) 247 (List Book and Page number of deed filed for the subject property as recorded at the WDRD)

4. Address (es) of owner of record is /are 90 Madison St., Suite 610, Worcester, MA 01608

(The owner of record is the person or entity who owns title to the property as of today's date)

3. OWNER OF RECORD: JAE Wor LLC

2. Is this property known by any other address: 70,72,74 & 76 Valmor St. & 21,23,25 & 27 Maranda St.

(List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).

1. Assessor's ADDRESS OF SUBJECT PROPERTY: 70 & 74 Valmor St.; 21 & 25 Maranda St.

1. Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:
The Applicant has secured necessary approvals for proposed construction from the various boards involved and has already framed one the four proposed structures. Reduction of the building height would require a complete building redesign and removal of portions of the building currently under construction which would involve a substantial financial hardship for the Applicant.
2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:
The sloped topography on the site results in a higher building height calculation than would occur if the lots were level due to the exposed foundation measurement at ground level inclusion in the height calculation.

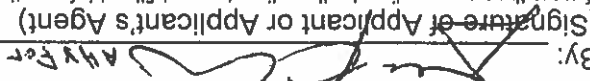
Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

VARIANCE FINDINGS OF FACT

16. Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):
Planning Board Site plan Approval 3/21/24; Conservation Commission Order of Conditions 12/4/23; Zoning Board of Appeals Variance 12/5/22 with extension of same 1/8/24
17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:
Open Building Permit issued for 70-72 Valmor Street.
18. List any additional information relevant to the Variance (s):
Applicant seeks relief for the 35 foot height limit provided in the Zoning Ordinance to allow for the construction of the 4 proposed single family semi-detached dwellings previously proposed. Architectural plans based on building height calculation between mean grade to mean peak which comes in at 35 feet. Code Enforcement calculation based on ridge line measurement.

****ALL APPLICATION DEADLINES ARE 2:00 P.M. UNLESS OTHERWISE SPECIFIED**
APPLICANTS ARE ENCOURAGED TO FILE BEFORE THE DEADLINE DATE WHENEVER POSSIBLE**

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.

By:  (Signature of Applicant or Applicant's Agent)
If more than one applicant, all applicants must fill out information.

JAE Wor LLC
(Name of Applicant)

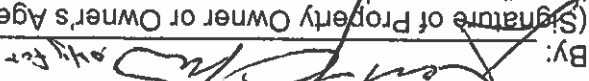
90 Madison St., Worcester, MA
(Address)

(774) 696-3814
(Contact Phone Number)

annaszeto.fm@gmail.com
(Email)

July 2, 2024
(Date)

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.

By:  (Signature of Property Owner or Owner's Agent)
If more than one property owner, all owners must fill out information.

JAE Wor LLC
(Name of Property Owner)

90 Madison St. Worcester, MA
(Address)

(774) 696-3814
(Contact Phone Number)

annaszeto.fm@gmail.com
(Email)

July 2, 2024
(Date)

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship. The requested relief is the minimum required to allow for the proposed construction to proceed in accordance with the plans previously submitted.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance: The Applicant has proposed additional housing to help meet the demand for same. The proposed use is an allowed use in an RL-7 zone and is in keeping with the surrounding neighborhood. The requested relief takes into account the topography of the site with the mean height measurement of the structures coming in at 35 feet and presents no detriment to the public good nor substantial derogation for the intent of the Ordinance.

CERTIFICATION OF COMPLIANCE WITH WORCESTER REVISED ORDINANCES GOVERNING REVENUE COLLECTION

*Note: This form must be completed and signed by both the applicant(s) and owner(s) of the property certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a fully completed certification form with the application shall result in the application being deemed incomplete and ineligible for further processing by the Zoning Board of Appeals.

Pursuant to Massachusetts General Law, Chapter 40, Section 57 and the City of Worcester General Revised Ordinance, Chapter 11, Section 26-28, the undersigned applicant and all parties having an ownership interest therein, hereby certify, under the pains and penalties of perjury, that the applicant(s) and owner(s) have complied with the laws of the Commonwealth of Massachusetts and the City of Worcester regarding payment of all local taxes, fees, assessments, betterments or any other municipal charges of any kind.
 (Give first and last names in full. In case of a corporation give names of President, Treasurer and Manager; and in case of firms, give names of individual members.)

(1) If a Proprietorship or Single Owner of residential property:

Name of Owner _____
 Business Address _____
 Home Address _____
 Business Phone _____
 Home Phone _____
 Signature of owner (certifying payment of all municipal charges): _____
 Date: _____

(2) If a Partnership or Multiple Owners of residential property:

Full names and address of all partners
 Printed Names _____
 Addresses _____
 Business Address _____
 Business Phone _____
 Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary) _____
 Date: _____
 Date: _____
 Date: _____
 Date: _____

(3) If a Corporation:

Full Legal Name JAE Wor LLC

State of Incorporation Massachusetts

Principal Places of Business Worcester

Place of Business in Massachusetts 90 Madison St, Suite 610, Worcester, MA 01608

Printed Names of Officers of Corporation:

Joseph Charpentier
Anna Szelo

Manager
Manager

Printed Names

Joseph Charpentier
Anna Szelo

Owners of Corporation:

Joseph Charpentier
Anna Szelo

Address 90 Madison St Worcester, MA 50%
90 Madison St Worcester, MA 50%

% of stock

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Date: 3/2/24

Date: 3/2/24

Date: 3/2/24

Date: 3/2/24

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Date: 3/2/24

Date: 3/2/24

Signature of Applicant:

Printed Name of Applicant:

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Printed Names of Beneficiaries:

Address

Printed Names of Trustees:

Business Address

Name of Trust

(4) If a Trust:

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 53

Parcel Address:	70,72,74,76 VALMORE ST & 21,23,35,37 MARANDA ST
Assessor's Map-Block-Lot(s):	64-010-00004, 34-010-0004B, 34-010-0004A, 34-010-0004C
Owner:	JAE WOR LLC
Owner Mailing:	90 MADISON ST WORCESTER, MA 01608
Petitioner (if other than owner):	DONALD J ONEIL 688 PLEASANT ST WORCESTER, MA 01602
Petitioner Mailing Address:	5087555655 WORCESTER, MA 01602
Petitioner Phone:	

Planning:					
Historical:					
Zoning:	X				
Cannabis:					
Other:					
License Commission:					
Conservation Commission:					

PUG, ORAISSA + GENAO, ADRIAN M
JAE WOR LLC
GINGRAS, MICHAEL T + DONNA M

34-010-00030
34-010-00004
34-010-002-1

0013 MARANDA ST
0090 MADISON ST SUITE 610
0079 MARANDA ST

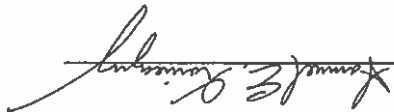
WORCESTER, MA 01604
WORCESTER, MA 01608
WORCESTER, MA 01604-2436

UXXBRIDGE, MA 01569	0362 HIGH ST	34-010-00044	HALL,RICHARD W
WORCESTER, MA 01604	0014 DUNCANNON AVE APT 3	34-010-00006	SMALLEY,CLIFTON DONALD + KIMBERLY A
WORCESTER, MA 01604	0109 SUNDERLAND RD	34-010-00198	RITCHIE,HALEY
WORCESTER, MA 01604-2443	0119 SUNDERLAND RD	34-010-00284	KELICKER,JEFFREY P + ANNE T
WORCESTER, MA 01604	0115 SUNDERLAND RD	34-010-0043A	FOSTER,JOHN
WORCESTER, MA 01604	0024 VALMOR ST	34-010-00008	MEYER,MICHELLE E +
WORCESTER, MA 01604	0006 CORRINE ST	34-010-00031	ZORGE,MICHAEL
WORCESTER, MA 01604	20 SIMONE ST	34-010-00007	SULLIVAN,LAWRENCE A + SUZANNE
WORCESTER, MA 01604	0016 MARANDA ST	34-010-0044A	JEAN,ANOULO
WORCESTER, MA 01604	0015 CORRINE ST	34-010-00022	WESTALL,SAMANTHA
WORCESTER, MA 01604	0022 COUNTY ST	34-011-00023	OPACKI,ANGELA S + THOMAS M
WORCESTER, MA 01604	0080 VALMOR ST	34-010-00001	TOCE,MATTHEW R + MARGARET J
WORCESTER, MA 01604	0077 CORRINE ST	34-010-00043	MAHONEY,MICHAEL ANTHONY
WORCESTER, MA 01604	0028 MARANDA ST	34-010-0043B	ABDULMASSIH,JOSEPH +
WORCESTER, MA 01604	0058 COUNTY ST	34-012-001+4	GRANTZ,SCOTT + JULIE
WORCESTER, MA 01604	0087 VALMOR ST	34-012-001+2	GITAU,PENINA W +
WORCESTER, MA 01604	0091 VALMOR ST	34-012-0001A	BOZIL,LAURETTE + JEAN MICKER +
WORCESTER, MA 01604-2438	0047 VALMOR ST	34-011-00027	AUCLAIR,DAWNE
WORCESTER, MA 01604	0017 CORRINE ST	34-010-00021	SANTIAGO,MARGARITA + LUZ A
WORCESTER, MA 01604	0018 SIMONE ST	34-010-00033	GRAMPEIRO,EDMUNDO B + BARBARA L
WORCESTER, MA 01605	0049 VALMOR ST	34-011-0027A	PINTO,ABIGAIL + NICHOLAS
WORCESTER, MA 01604	0024 COUNTY ST	34-012-00027	RICHARDS,KATHERINE J +
WORCESTER, MA 01604	0818 VALMOR ST	34-012-02-3R	TATE,SUZAN + KENYON,ANGELA
WORCESTER, MA 01604	0009 FAIRFIELD DR	34-012-00001	SKOCZYLA,BETA M + HENRYK W
DUDLEY, MA 01571	0025 SIMONE ST	34-010-00272	COVELLO,ANTHONY F
WORCESTER, MA 01604	0029 SIMONE ST	34-010-00019	FRECHETTE,JOSEPH GERARD
WORCESTER, MA 01604	0028 COUNTY ST	34-012-00026	LUCK,SEAN
WORCESTER, MA 01604	0024 MARANDA ST	34-010-0239B	WEEMS,DARIUS A + NUGENT,KRYSTAL J
WORCESTER, MA 01604	65 CORRINE ST	34-010-00018	COVELLO,MICHAEL R +
WORCESTER, MA 01604	0125 SUNDERLAND RD	34-010-00002	RENE,UNIOR H + LAS,DARLINE
WORCESTER, MA 01604	0089 VALMORE ST	34-012-001+1	SMITH,PATRICIA A
WORCESTER, MA 01604	0026 MARANDA ST	34-010-0239A	BARTLETT,TRACY S
WORCESTER, MA 01604-2404	0054 COUNTY ST	34-012-00025	DUGGAN,DEBRA A
WORCESTER, MA 01604	0056 COUNTY ST	34-012-001+5	LOPES,JESSICA
WORCESTER, MA 01604	0022 PAXTON RD	34-010-0002A	HIRUDAYASAMY,JOHN PAUL +
SHREWSBURY, MA 01545	0082 VALMOR ST	34-010-02R-B	CLAIREMONT,EVAN + KIMBERLY
WORCESTER, MA 01604	0141 SUNDERLAND RD	34-010-0002B	CARRANZA,KATHERINE
WORCESTER, MA 01604	0060 COUNTY ST	34-012-001+3	ROBIDOUX,RAYMOND R + MARCIA M
WORCESTER, MA 01604	0078 VALMOR ST	34-010-00038	PERRY,JOAN F
WORCESTER, MA 01604-2404	0018 COUNTY ST	34-011-00022	SWIDLER,RONALD A+MARIA M
WORCESTER, MA 01604	0029 VALMOR ST	34-011-29-D2	ISUFI,AFRIM D
WORCESTER, MA 01604	0027 VALMOR ST	34-011-29-D1	ISUFI,EMINE
WORCESTER, MA 01604	0040 COUNTY ST	34-011-0001A	DASILVA,ALESSANDRE + ROSEMAR P

LOPEZ,AGUSTIN	34-011-28-E2	0033 VALMOR ST	WORCESTER, MA 01604
DUNLEVY,KEVIN P	34-011-28-E1	339 BROOKS ST	WORCESTER, MA 01606-1303
AFABLE,JOLYON PHILIP A +	34-012-02-3L	81A VALMOR STREET	WORCESTER, MA 01604
BROUGH,AUSTIN + FERRARONE,CHLOE	34-012-00002	0079 VALMOR ST	WORCESTER, MA 01604
MUJUNZI,MARVIN S	34-012-002-1	0077 VALMOR ST	WORCESTER, MA 01604
JAE WOR LLC	34-010-0006A	0090 MADISON ST SUITE 610	WORCESTER, MA 01608
CLAIREMONT,EVAN	34-010-02R-A	0084 VALMOR ST	WORCESTER, MA 01604

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 64-010-00004, 34-010-0004B, 34-010-0004A, 34-010-0004C as cited above.

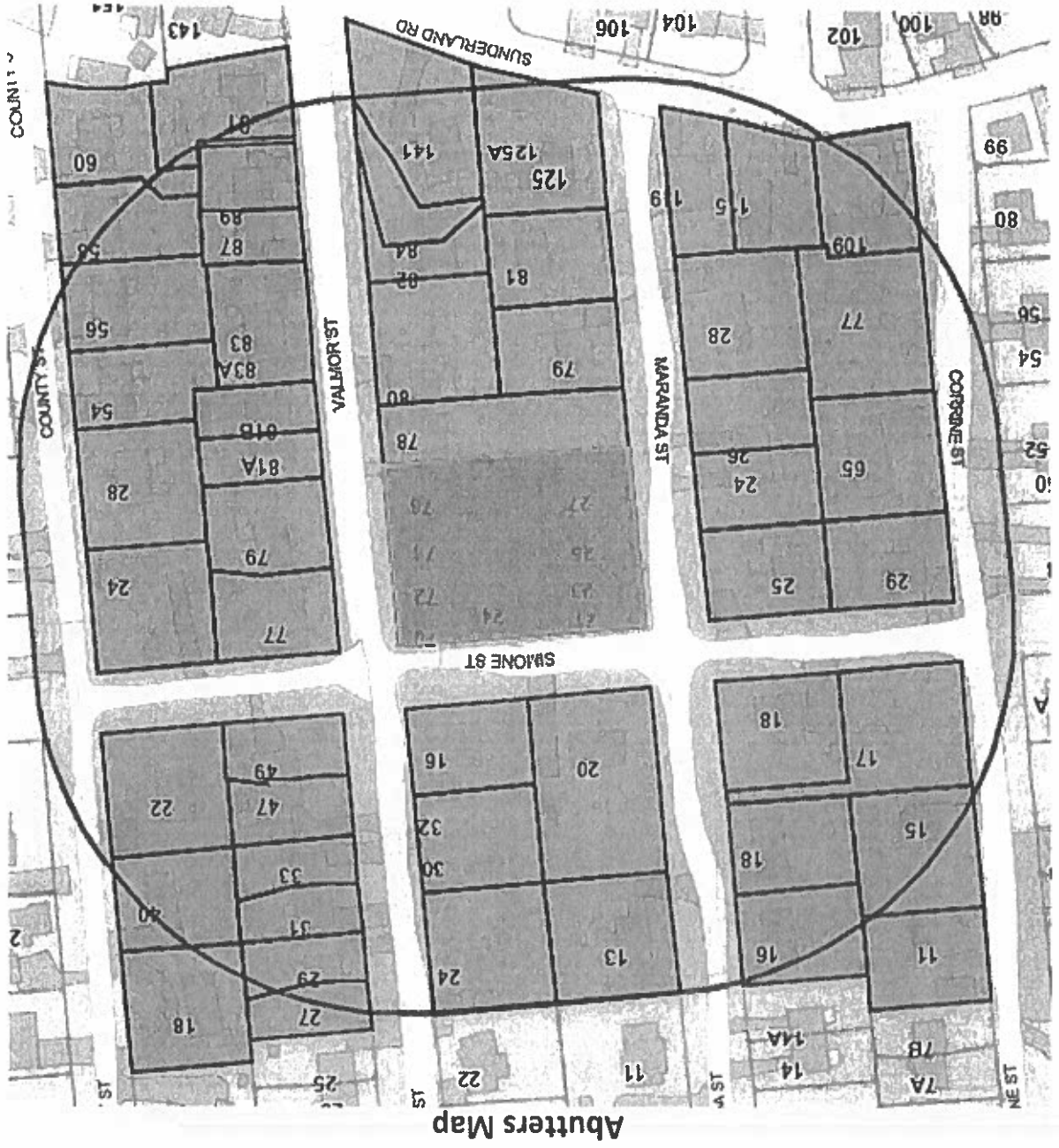
Certified by:



Signature

Date

07/02/2024



Abutters Map

NO.	DATE	DESCRIPTION
1		
2		
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5		
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7		
8		
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10		

JAE WOR LLC

VALMOR ST PLANS
LOT 3A SURVEY 2024.07.15

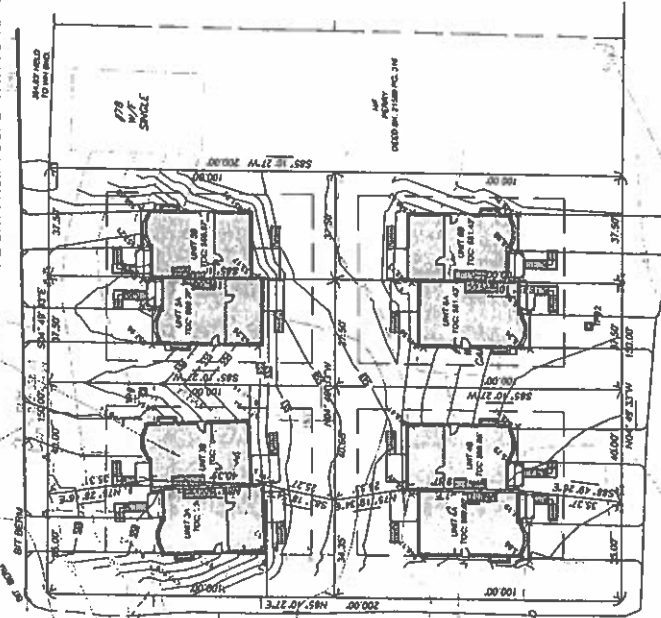
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ZONING SUMMARY TABLE		
RL-7 ZONE		
DIMENSION	REQUIRED	LOT 3A LOT 3B
GRI LOT AREA	4,000 SF	3,750 3,750
MIN FRONT SETBACK	20 FT	22.00 21.00
MIN SIDE YARD SETBACK	8 FT*	10.07 14.00
MIN REAR SETBACK	20 FT	18.70 19.00
FRONTAGE	75 FT	35.07 40.07
MINIMUM DRIVEWAY WIDTH	<50%	31.1%
MAX BLDG. HEIGHT	35 FT	40 FT 40 FT

* MIN SIDE SETBACK AT CORNER LOTS 15 FT

BLDG UNDER CONSTRUCTION:
TOP OF FOUNDATION CONCRETE EL = 554.86'
TOP OF RIDGE EL = 595.55'
HEIGHT FROM FOUNDATION TO TOP OF RIDGE 40' - 8"



BLDG UNDER CONSTRUCTION:
SIDE YARD SETBACK REQUIRED = 15.0 FT
PROVIDED = 14.07 FT



VALMOR STREET
PUBLIC - 50 FT WIDTH

SIMONE STREET
(PRIVATE)

MARANDA STREET
PUBLIC - 50 FT WIDTH

3, 4, 5, & 6 VALMOR ST. WORCESTER, MA 01604 SITE PLANS

OWNER/
APPLICANT: +
JAE WOR LLC

SITE ADDRESS: +
2, 3, 4, 5, & 6 VALMOR ST.,
WORCESTER, MA 01604

DRAWING LIST +

- CIVIL PLANS
- 1 CLP CONVEYMENT
 - 2 CL1 NOTES
 - 3 V.L.1 EXISTING CONDITIONS PLAN
 - 4 CL1 PARCEL LAYOUT PLAN
 - 5 CL2 SITE PLAN
 - 6 CL3 GRADING PLAN
 - 7 CL4 UTILITY PLAN
 - 8 CECL1 DRAINAGE CONTROL PLAN
 - 9 D.L.1 DETAIL SHEET 1 OF 3
 - 10 D.L.2 DETAIL SHEET 2 OF 3
 - 11 D.L.3 DETAIL SHEET 3 OF 3



LOCUS MAP 1"=400'

6/10/2024	CONFORMED-PLANNING BOARD & CONSERVATION COMMISSION	4
3/27/2024	PLANNING BOARD & CONSERVATION COMMISSION	3
2/15/2024	PLANNING BOARD & CONSERVATION COMMISSION	2
11/28/2023	PLANNING BOARD & CONSERVATION COMMISSION	1
10/18/2023	PLANNING BOARD & CONSERVATION COMMISSION	0

3, 4, 5, & 6

VALMOR ST.

ARCHITECTURAL PLANS
JAE WOR ARCHITECTS INC.
200 MAIN STREET
WORCESTER, MA 01604
PH: 782-6952

CIVIL ENGINEERING
JAE WOR ARCHITECTS INC.
200 MAIN STREET
WORCESTER, MA 01604
PH: 782-6952

LAND SURVEYING
JAE WOR ARCHITECTS INC.
200 MAIN STREET
WORCESTER, MA 01604
PH: 782-6952



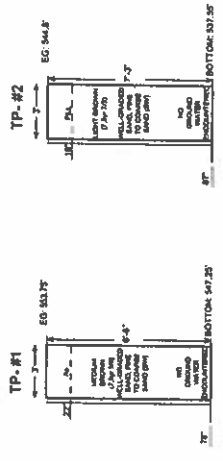
GENERAL NOTES

- PROPOSED GRADING/ DESIGN REVIEW BY JOSEPH GRAHAM, P.E., 33 SNOW DRIVE WESTFORD, MA 02826.
- ALL CONSTRUCTION MATERIALS & STANDARDS SHALL CONFORM TO THE CITY OF WORCESTER STANDARD SPECIFICATIONS, FOR ADDITIONAL DETAILS CONSULT THE CITY OF WORCESTER'S "CONSTRUCTION DETAIL MANUAL", AS PREPARED BY THE DEPARTMENT OF PUBLIC WORKS.
- ANY OR ALL PROPOSED UTILITIES (S.A. SEWER & WATER) TO BE INSTALLED PER CITY OF WORCESTER STANDARDS.
- ANY CHANGES OR AMENDMENTS TO THIS PLAN WILL REQUIRE APPROVAL FROM JOSEPH GRAHAM (THE ENGINEER).
- SEVENTY-TWO HOURS PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY THE CITY OF WORCESTER OF ALL EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) NEW UTILITIES WITHIN THE VICINITY OF EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) WITH THE APPROPRIATE UTILITY PROVIDER.
- THE CONTRACTOR SHALL RECORD AND PROVIDE THE OWNER WITH AS-BUILT LOCATIONS OF ALL UTILITIES INSTALLED AS PART OF HIS/HER WORK, INCLUDING UTILITIES NOT INDICATED ON THE PLAN (E.G. GAS, CABLE, TV, TELEPHONE, ELECTRIC, ETC.) IF APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO LAY OUT THE CONSTRUCTION AS SHOWN ON PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT THE PROPOSED EXCAVATION IS PROTECTED FROM COLLAPSE BY SHORING, BRACING, SLOPES, BENCHINGS, WALLS, STRUCTURES, ETC. THAT ARE DAMAGED OR ENCOMPASSED BY THE CONTRACTOR'S WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES WERE LOCATED AS PART OF THIS PLAN AND ARE TO BE FIELD VERIFIED. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING THE EXISTING UTILITY LOCATIONS AND ENSURING THAT THE PROPOSED WORK DOES NOT COMPLECT WITH THE EXISTING UTILITY NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL NOTIFY THE CITY OF WORCESTER COMMENCING ANY WORK OVER THE CONTRACTOR SHALL NOTIFY THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
- SEPARATE FILL SHALL CONSIST OF ORGANIC MATERIALS, LEAS, AND ANY DOLERITE MATERIAL. FILL SHALL NOT CONTAIN STUMPS LARGER THAN 10" IN ANY DIMENSION, AND SHALL HAVE LESS THAN 75% PASSING THE NO. 4 SIEVE AND A MAXIMUM OF 20% PASSING THE NO. 200 SIEVE. SUITABLE FILL SHALL NOT CONTAIN ANY BUILDING RUBBLE, REFRIGERATORS, AIR CONDITIONERS, ETC. OR OTHER HAZARDOUS MATERIALS. AT THE TIME OF PLACEMENT SUITABLE FILL SHALL NOT CONTAIN FRESH SOIL, OR FILL SHALL NOT CONTAIN WATER GREATER THAN THE OPTIMAL MOISTURE CONTENT.
- WHERE ELEVATIONS INDICATED AT THE BUILDING FOUNDATION SHOULD BE COORDINATED BETWEEN THE SITE PLAN AND THE PLUMBING CONTRACTOR.
- PROVIDED THAT THE PROJECTS CONSTRUCTED AND OPERATED IN SUBSTANTIAL ACCORDANCE WITH THE CITY OF WORCESTER'S ZONING ORDINANCE, AND OPERATIONS AND MAINTENANCE SHALL CONFORM WITH THE CITY OF WORCESTER AND IN ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL CODES.
- ALL WORK SHALL CONFORM TO THE CITY OF WORCESTER'S ZONING ORDINANCE, PLUMBING AND MECHANICAL CODES, AND THE CITY OF WORCESTER'S DEPARTMENT OF PUBLIC WORKS & PARKS, ENGINEERING DIVISION CONSTRUCTION MANAGEMENT SECTION, STANDARD SPECIFICATIONS & DETAILS, MOST RECENT EDITION.
- ALL TREE AND STUMP REMOVAL SHALL BE IN ACCORDANCE WITH THE ASIAN LONGHORNED BEETLE PROGRAM REQUIREMENTS AND ALL NEW TREES AND SHRUB PLANTINGS SHALL BE ASIAN LONGHORNED BEETLE RESISTANT.
- NO ROCK CRUSHING OR GRADING OPERATIONS SHALL BE PERMITTED ON-SITE AND THE CONTRACTOR SHALL TAKE STEPS TO LIMIT UNNECESSARY NOISE AND DUST, WITH THE CITY OF WORCESTER'S GENERAL REVISED ORDINANCE RELATIVE TO NOISE CONTROL.
- CONSTRUCTION OPERATIONS SHALL BE LIMITED FROM MONDAY TO SATURDAY BETWEEN THE HOURS OF 7AM TO 7PM. THERE SHALL BE NO WORK ON SUNDAYS OR HOLIDAYS.
- ALL CONSTRUCTION EQUIPMENT SHALL BE WELL MAINTAINED AND HAVE FUNCTIONING EXHAUST SYSTEMS AND SHALL COMPLY WITH THE DEPARTMENT OF ENVIRONMENTAL AFFAIRS REGULATIONS TO PREVENT UNNECESSARY NOISE AND AIR POLLUTION WHILE NOT IN PRODUCTIVE USE.
- TO MITIGATE DUST ON THE WORK SITE, THE CONTRACTOR SHALL HAVE ON-SITE WATER TRUCKS, MISTERS AND CHEMICAL TREATMENT, SUCH AS CALCIUM CHLORIDE DURING EARLY-MORNING ACTIVITIES. ADDITIONALLY, EXCAVATED SOILS SHALL BE DIRECTLY TRANSPORTED TO COVERED TRUCKS AND NOT STOCKPILED.

ABBREVIATIONS

A.C.I.	AMERICAN CONCRETE INSTITUTE	D.D.	OUTSIDE DIAMETER
B.C.D.	BUILDING CONTROL KEY	R.A.	RADIUS
C.L.	COLUMN	R.H.	ROUGH OPENING
DET.	DETAIL	S.S.	STAINLESS STEEL
D.K.	DOWN	SPEC.	SPECIFICATIONS
ELEV.	ELEVATION	T.A.	TOP OF ()
ELEC.	ELECTRICAL	T.A.C.	TOP OF CONCRETE
F.L.	FLOOR	T.O.P.	TOP OF PAVING
GALV.	GALVANIZED	T.O.S.	TOP OF STEEL
I.D.	INSIDE DIAMETER	T.W.	TYPICAL
J.T.	JUNCTION	AND	
MECH.	MECHANICAL	B.F.	BEDDING FLOOR
NO.	NUMBER	U.S.	UNITS
O.C.	ON CENTER	V.F.	VERIFY IN FIELD
O.P.	OPENING		

TEST PITS



TEST PIT NOTES:
 • TEST PITS PERFORMED ON APPROVAL
 • SEE STORMWATER REPORT FOR

SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
⊙	⊙	FRISKY BARBERS ON BRIDGE OR ROCKET BARBER
⊙	⊙	CATCH BASIN
⊙	⊙	CATCH BASIN CURB BUCKET
⊙	⊙	GAS PUMP
⊙	⊙	MAIL BOX
⊙	⊙	POST CIRCULAR
⊙	⊙	WELL
⊙	⊙	ELECTRIC MANHOLE
⊙	⊙	FLY ASH PORT
⊙	⊙	GAS GATE
⊙	⊙	BURNING HOLE
⊙	⊙	MONITORING WELL
⊙	⊙	TEST PIT
⊙	⊙	HYDRA-MAT
⊙	⊙	LIGHT POLE
⊙	⊙	COURT BOARD
⊙	⊙	CABLE MANHOLE
⊙	⊙	DRAINAGE MANHOLE
⊙	⊙	ELECTRIC MANHOLE
⊙	⊙	AIRC. MANHOLE
⊙	⊙	SEWER MANHOLE
⊙	⊙	WATER MANHOLE
⊙	⊙	MASSACHUSETTS HIGHWAY BOUNDARY MARKING
⊙	⊙	STONE EDGING
⊙	⊙	TRANSVERSE OR TRANSMISSION STATION
⊙	⊙	TROLLEY POLE ON CITY POLE
⊙	⊙	UTILITY POLE W/ TIE
⊙	⊙	UTILITY POLE WITH DOUBLE LIGHT
⊙	⊙	UTILITY POLE
⊙	⊙	BUSH
⊙	⊙	STUMP
⊙	⊙	WADSWORTH MARSH
⊙	⊙	PARKING METER

VALMOR ST PLANS
 NOTES
 13

G1.1
 DATE: 07/10/2013
 DRAWN BY: JWG
 CHECKED BY: JWG
 SCALE: AS SHOWN



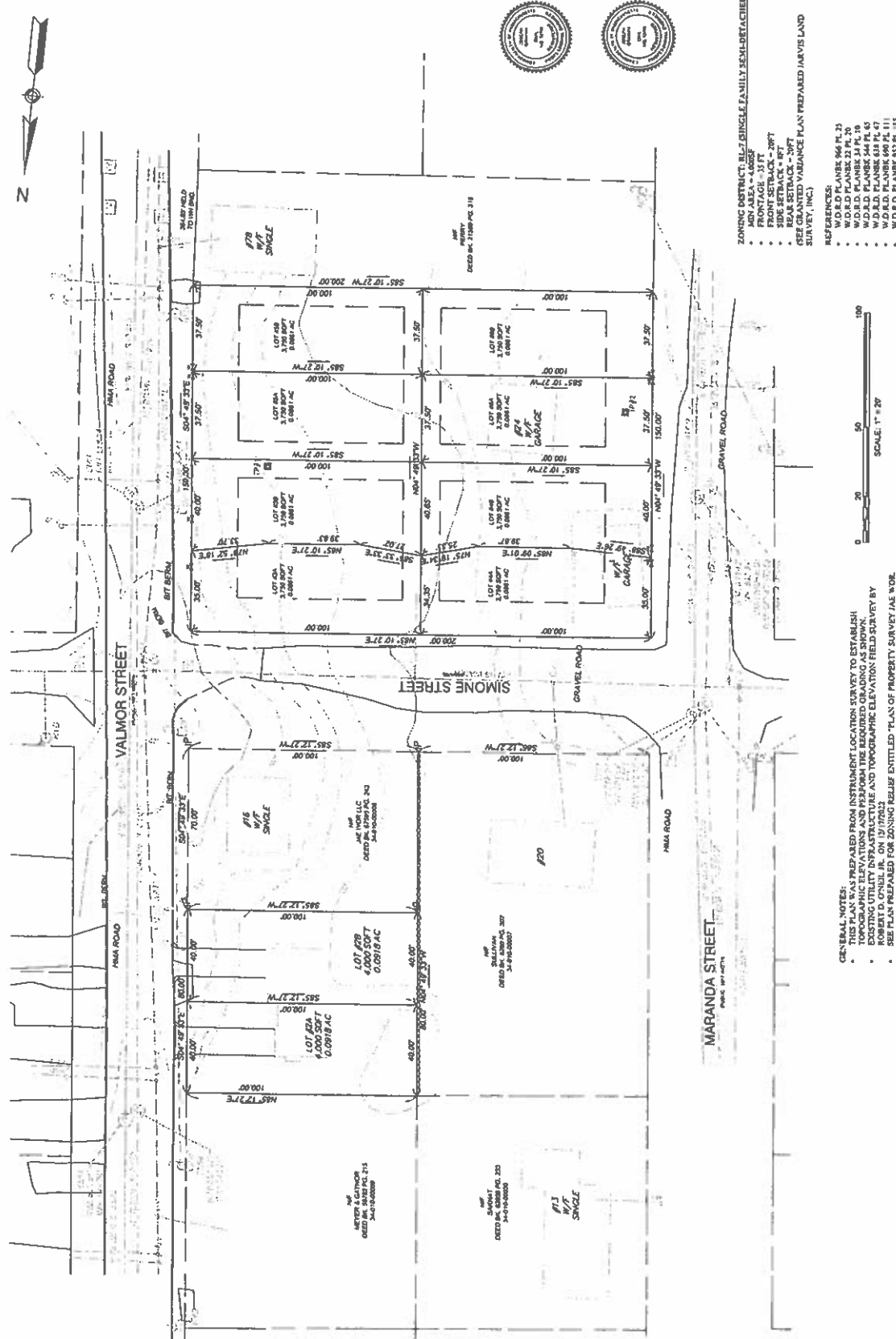
JAE WOR LLC

DATE	DESCRIPTION
11/15/23	PREPARED
11/15/23	CHECKED
11/15/23	APPROVED

JAE WORLELLC

VALMOR ST PLANS
EXISTING CONDITIONS PLAN

V1.1
SHEET 3 OF 13



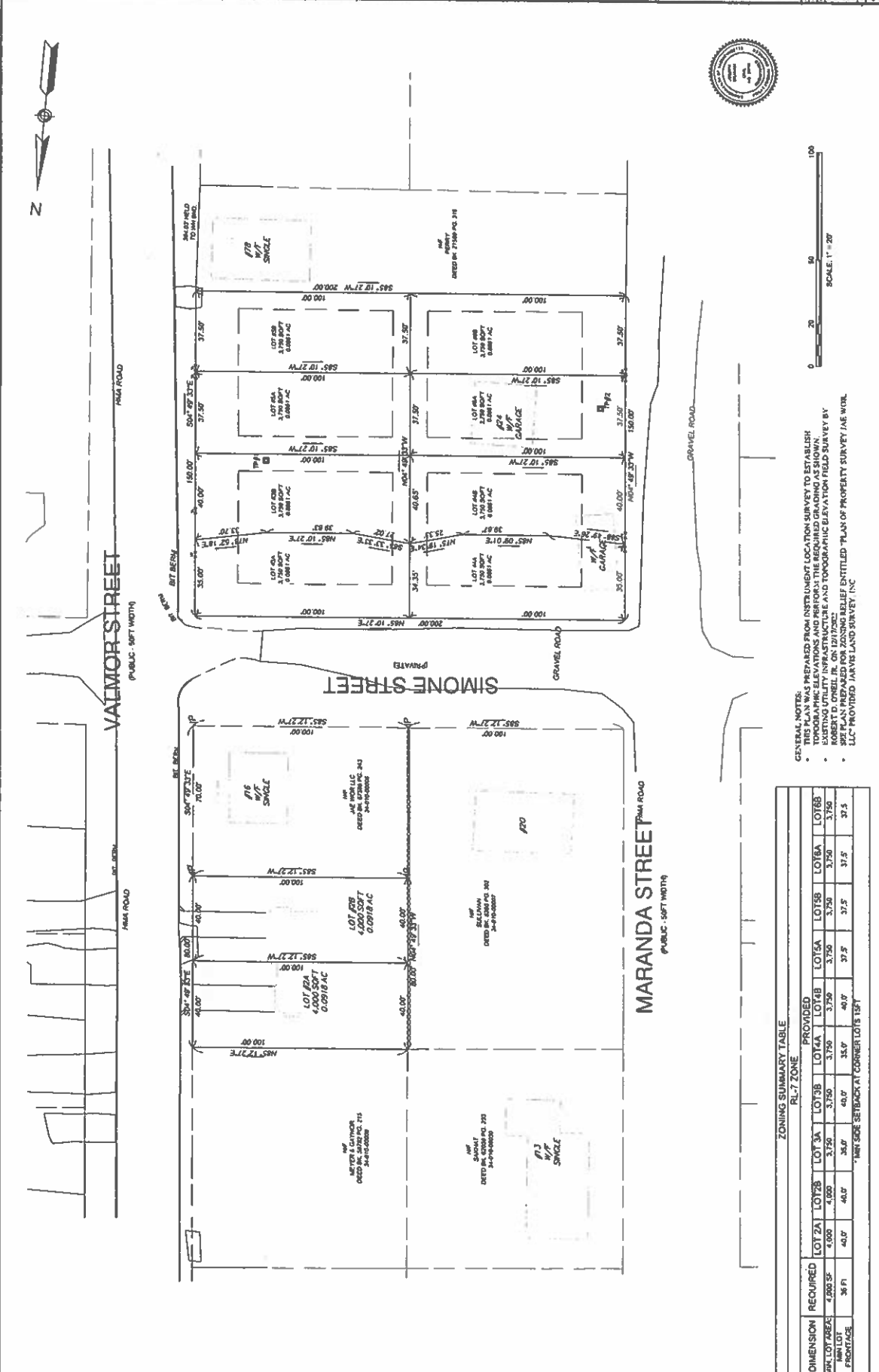
- ZONING DISTRICT: BL7 SINGLE FAMILY SEMI-DETACHED
- MIN AREA - 4,000 SF
 - FRONTAGE - 35 FT
 - REAR SETBACK - 20 FT
 - SIDE SETBACK - 20 FT
 - REAR SETBACK - 30 FT
 - GREE GRANTED VARIANCE PLAN PREPARED JAE WORLELL SURVEY, INC.
- REFERENCES:
- W.D.R.D. PLANK 966 PL 23
 - W.D.R.D. PLANK 27 PL 30
 - W.D.R.D. PLANK 544 PL 45
 - W.D.R.D. PLANK 548 PL 47
 - W.D.R.D. PLANK 600 PL 11
 - W.D.R.D. PLANK 752 PL 11



GENERAL NOTES:

- THIS PLAN WAS PREPARED FROM INSTRUMENT LOCATION SURVEY TO ESTABLISH TOPOGRAPHIC ELEVATIONS AND PERFORM THE REQUIRED GRADING AS SHOWN.
- THE SURVEY WAS CONDUCTED ON 11/15/23 AND TOPOGRAPHIC ELEVATION FIELD SURVEY BY ROBERT D. OYLER, JR. ON 12/17/23.
- SEE PLAN PREPARED FOR ZONING VARIANCE ENTITLED "PLAN OF PROPERTY SURVEY JAE WORLELL SURVEY, INC."





ZONING SUMMARY TABLE

RL-7 ZONE

DIMENSION	REQUIRED	PROVIDED											
		LOT 2A	LOT 2B	LOT 3A	LOT 3B	LOT 4A	LOT 4B	LOT 5A	LOT 5B	LOT 6A	LOT 6B	LOT 7A	LOT 7B
MIN. LOT AREA	4,000 SF	4,000	4,000	3,750	3,750	3,750	3,750	3,750	3,750	3,750	3,750	3,750	3,750
MIN. LOT COVERAGE	36 FT	40.0'	40.0'	35.0'	35.0'	35.0'	35.0'	35.0'	35.0'	35.0'	35.0'	35.0'	35.0'

*MIN. SIDE SETBACK AT CORNER LOTS 15 FT

GENERAL NOTES:

- THIS PLAN WAS PREPARED FROM INSTRUMENT LOCATION SURVEY TO ESTABLISH TOPOGRAPHIC ELEVATIONS AND RECORD THE REQUIRED GRADING AS SHOWN
- ROBERT D. ORSHAN, JR. AND TOPOGRAPHIC DATA FROM FIELD SURVEY BY
- ROBERT D. ORSHAN, JR. ON 12/17/2022
- SHE PLAN PREPARED FOR ZONING RELIEF ENTITLED "PLAN OF PROPERTY SURVEY JAE WOR LLC PROVIDED JARVIS LAND SURVEY, INC



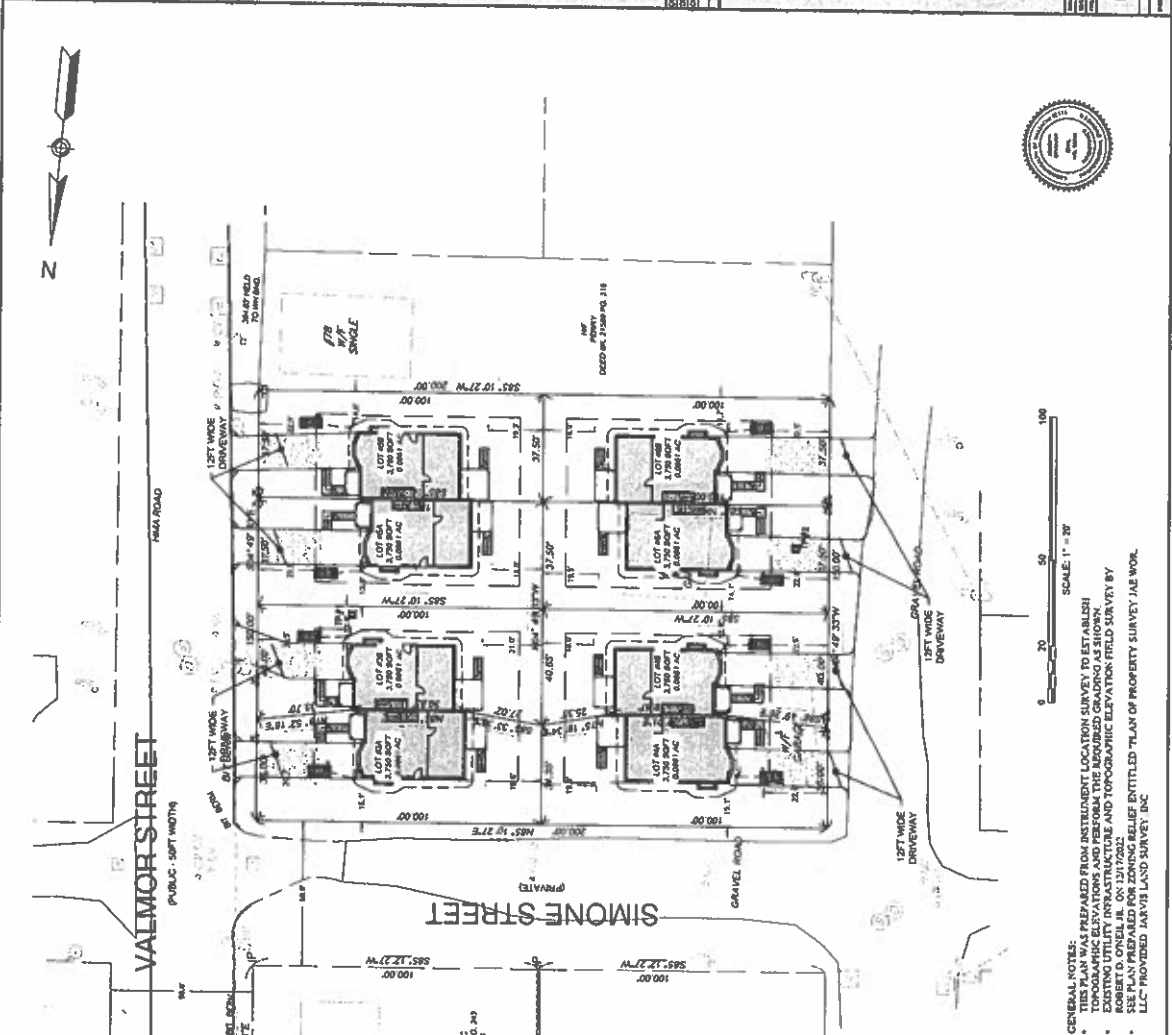
DATE	
BY	
CHECKED BY	
DATE	

JAE WOR LLC

VALMOR ST PLANS
SITE PLAN

C1.2

1/10/2024



SCALE: 1" = 20'
0 50 100

GENERAL NOTES:
 THIS PLAN WAS PREPARED FROM INSTRUMENT LOCATION SURVEY TO SET A BENCH TOODOGRAPHIC ELEVATIONS AND PERFORM THE REQUIRED GRAVING AS SHOWN.
 EXISTING UTILITY INFRASTRUCTURE AND TOPOGRAPHIC ELEVATION FIELD SURVEY BY SURVEYOR JAE WOR LLC IS TO BE USED FOR THE DESIGN OF THE PROJECT.
 SEE SHEET C1.1 FOR THE BENCH ELEVATION BOTTLED PLAN OF PROPERTY SURVEY JAE WOR LLC PROVIDED JAE WOR SURVEY, INC.

ZONING SUMMARY TABLE

DIMENSION	PROVIDED							
	LOT 2A	LOT 2B	LOT 3A	LOT 3B	LOT 4A	LOT 4B	LOT 5A	LOT 5B
MIN LOT AREA	4,000 SF	4,000	3,750	3,750	3,750	3,750	3,750	3,750
MIN FRONT SETBACK	20 FT	20 FT	20 FT	20 FT	20 FT	20 FT	20 FT	20 FT
MIN SIDE SETBACK	6 FT	6 FT	15 FT	15 FT	15 FT	15 FT	15 FT	15 FT
MIN REAR SETBACK	20 FT	20 FT	18 FT	18 FT	18 FT	18 FT	18 FT	18 FT
MIN FRONT DRIVEWAY IMPASSABLE WIDE %	<5%	<5%	30.9%	30.9%	32.0%	32.0%	32.0%	32.0%

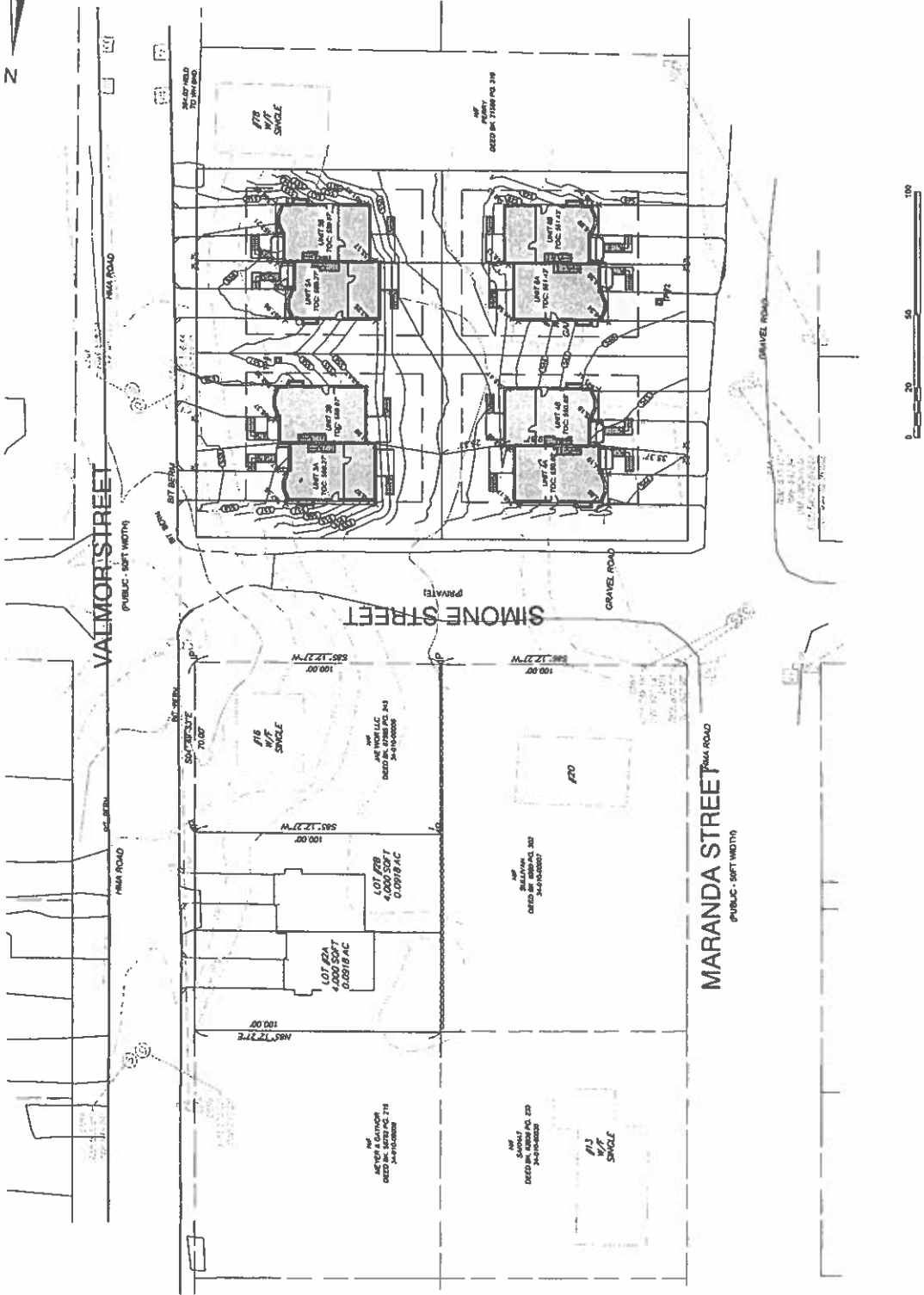
*MIN SIDE SETBACK AT CORNER LOTS 1&2

DATE	NO.	REVISIONS

JAE WOR LLC

VALMOR ST PLANS
GRADING PLAN

C1.3



NO.	DESCRIPTION	DATE
1	PRELIMINARY	07/27/2011
2	REVISED	08/18/2011
3	REVISED	09/01/2011
4	REVISED	09/15/2011
5	REVISED	10/26/2011

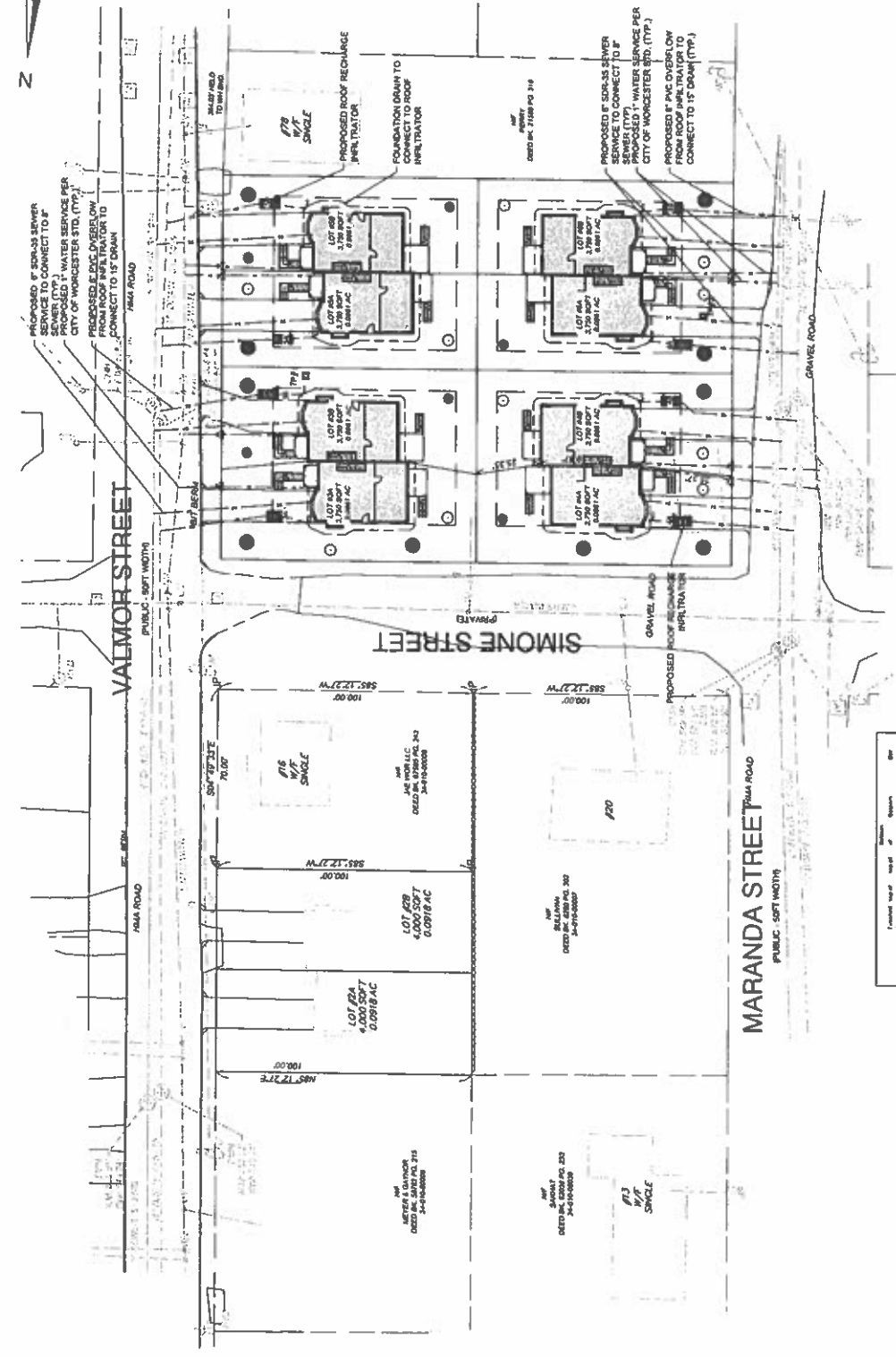
JAE WOR LLC

UTILITY PLAN
5

VALMOR ST PLANS

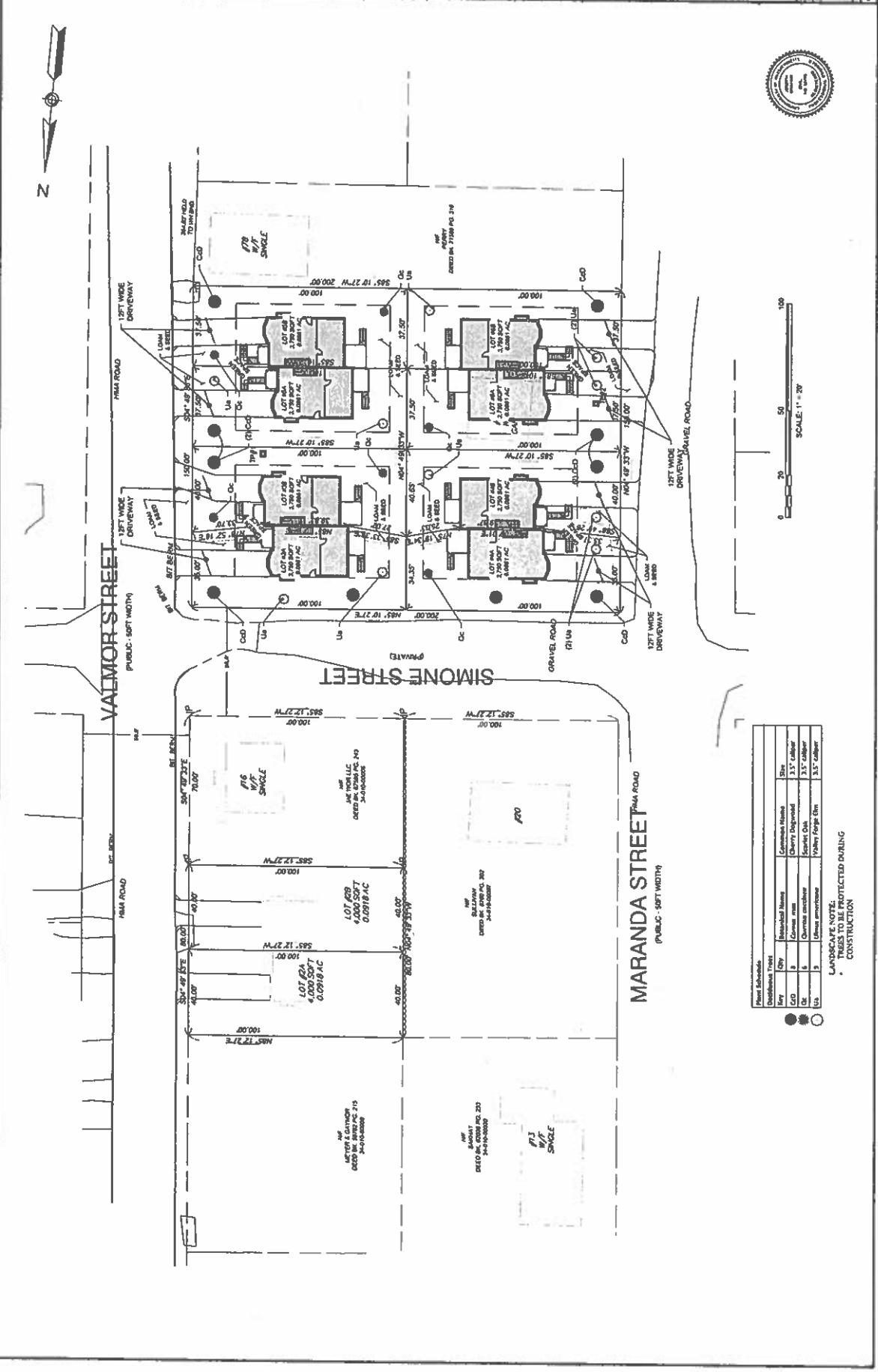
C1.4

DATE 7 13



SCALE: 1" = 20'

Lot No.	Area (Sq Ft)	Area (Ac)	Permitted Use	Notes
1	2,790	0.064	RES	See sheet 2
2	2,790	0.064	RES	See sheet 2
3	2,790	0.064	RES	See sheet 2
4	2,790	0.064	RES	See sheet 2
5	2,790	0.064	RES	See sheet 2
6	2,790	0.064	RES	See sheet 2
7	2,790	0.064	RES	See sheet 2
8	2,790	0.064	RES	See sheet 2
9	2,790	0.064	RES	See sheet 2
10	2,790	0.064	RES	See sheet 2
11	2,790	0.064	RES	See sheet 2
12	2,790	0.064	RES	See sheet 2
13	2,790	0.064	RES	See sheet 2
14	2,790	0.064	RES	See sheet 2
15	2,790	0.064	RES	See sheet 2
16	2,790	0.064	RES	See sheet 2
17	2,790	0.064	RES	See sheet 2
18	2,790	0.064	RES	See sheet 2
19	2,790	0.064	RES	See sheet 2
20	2,790	0.064	RES	See sheet 2
21	2,790	0.064	RES	See sheet 2
22	2,790	0.064	RES	See sheet 2
23	2,790	0.064	RES	See sheet 2
24	2,790	0.064	RES	See sheet 2
25	2,790	0.064	RES	See sheet 2
26	2,790	0.064	RES	See sheet 2
27	2,790	0.064	RES	See sheet 2
28	2,790	0.064	RES	See sheet 2
29	2,790	0.064	RES	See sheet 2
30	2,790	0.064	RES	See sheet 2
31	2,790	0.064	RES	See sheet 2
32	2,790	0.064	RES	See sheet 2
33	2,790	0.064	RES	See sheet 2
34	2,790	0.064	RES	See sheet 2
35	2,790	0.064	RES	See sheet 2
36	2,790	0.064	RES	See sheet 2
37	2,790	0.064	RES	See sheet 2
38	2,790	0.064	RES	See sheet 2
39	2,790	0.064	RES	See sheet 2
40	2,790	0.064	RES	See sheet 2
41	2,790	0.064	RES	See sheet 2
42	2,790	0.064	RES	See sheet 2
43	2,790	0.064	RES	See sheet 2
44	2,790	0.064	RES	See sheet 2
45	2,790	0.064	RES	See sheet 2
46	2,790	0.064	RES	See sheet 2
47	2,790	0.064	RES	See sheet 2
48	2,790	0.064	RES	See sheet 2
49	2,790	0.064	RES	See sheet 2
50	2,790	0.064	RES	See sheet 2
51	2,790	0.064	RES	See sheet 2
52	2,790	0.064	RES	See sheet 2
53	2,790	0.064	RES	See sheet 2
54	2,790	0.064	RES	See sheet 2
55	2,790	0.064	RES	See sheet 2
56	2,790	0.064	RES	See sheet 2
57	2,790	0.064	RES	See sheet 2
58	2,790	0.064	RES	See sheet 2
59	2,790	0.064	RES	See sheet 2
60	2,790	0.064	RES	See sheet 2
61	2,790	0.064	RES	See sheet 2
62	2,790	0.064	RES	See sheet 2
63	2,790	0.064	RES	See sheet 2
64	2,790	0.064	RES	See sheet 2
65	2,790	0.064	RES	See sheet 2
66	2,790	0.064	RES	See sheet 2
67	2,790	0.064	RES	See sheet 2
68	2,790	0.064	RES	See sheet 2
69	2,790	0.064	RES	See sheet 2
70	2,790	0.064	RES	See sheet 2



Plant Schedule

Quantity	Tree	Common Name	Size
1	Tree	Cherry Dogwood	3.5" Caliber
1	Tree	Spire Oak	3.5" Caliber
1	Tree	Valley Forge Elm	3.5" Caliber

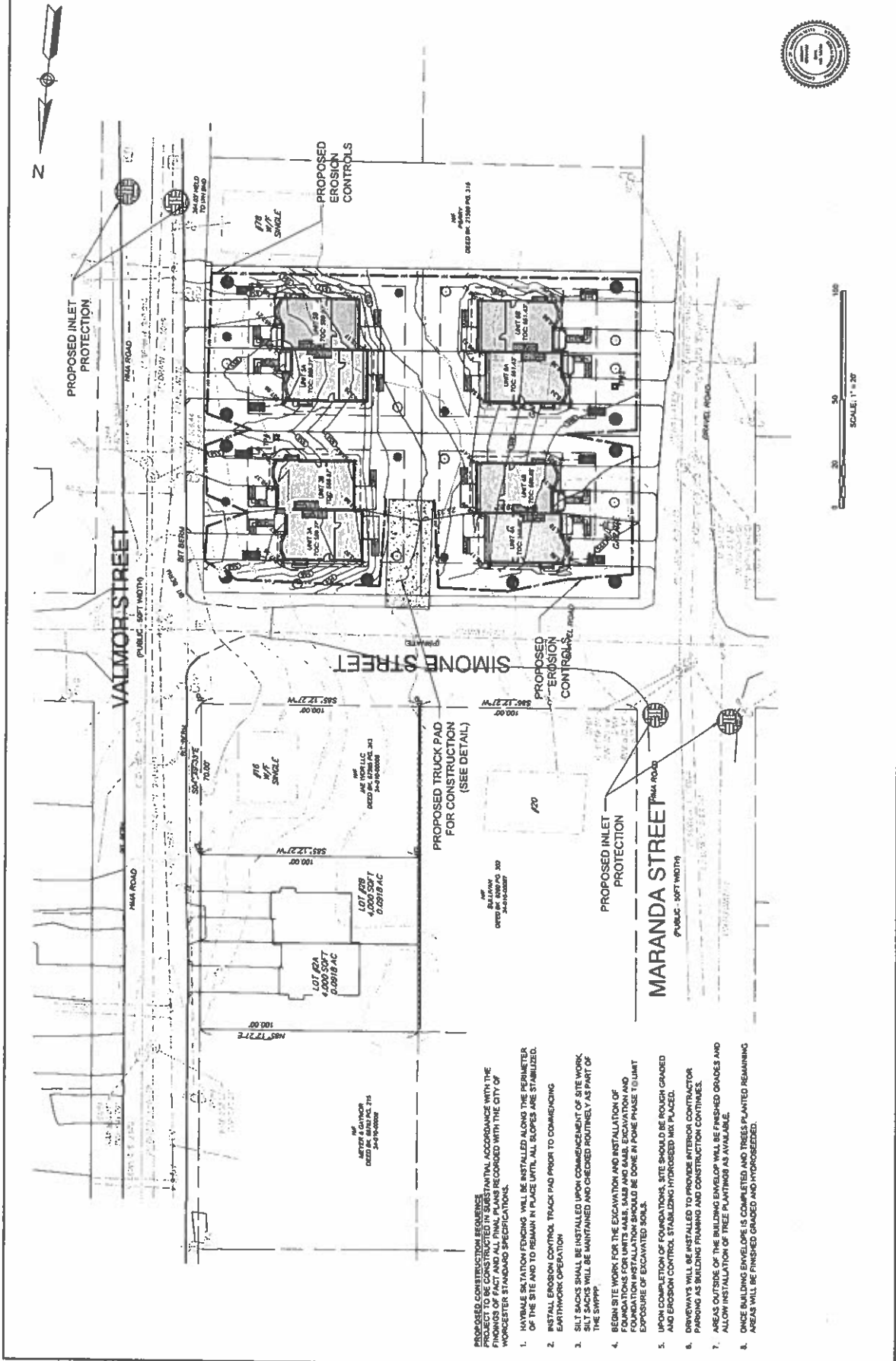
LANDSCAPE NOTE:
 TREES TO BE PROTECTED DURING
 CONSTRUCTION

NO.	DATE	DESCRIPTION	BY

JAE WOR LLC

VALMOR ST PLANS
EROSION CONTROL PLAN

EC1.1
SCALE: 1" = 20'



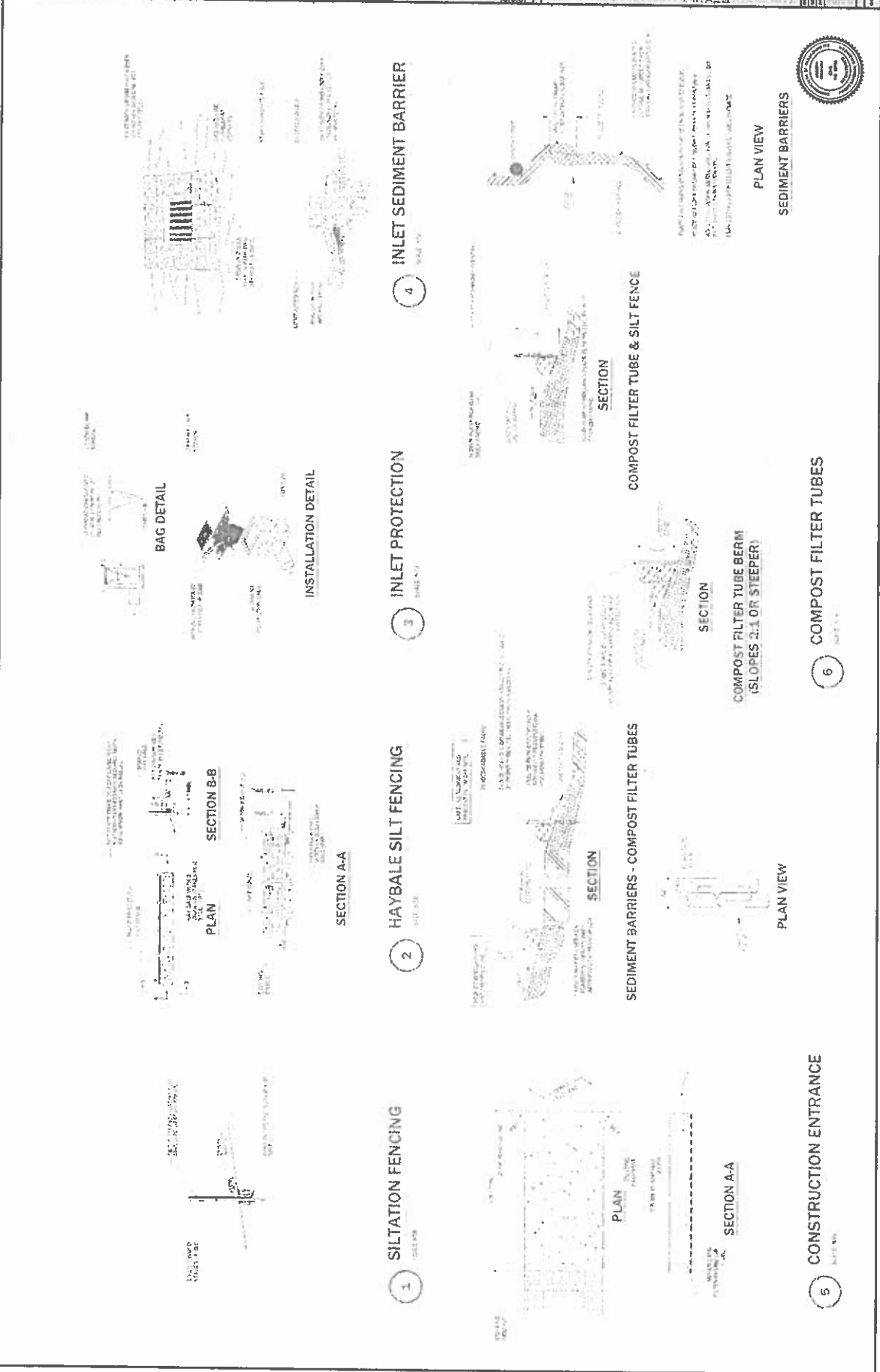
- PROPOSED CONSTRUCTION REQUIREMENTS**
 SHALL BE CONDUCTED IN SUBSTANTIAL ACCORDANCE WITH THE
 PROVISIONS OF THE MASSACHUSETTS EROSION CONTROL ACT AND
 WORKSHEET STANDARD SPECIFICATIONS.
1. PORTABLE BATTERY FENCING WILL BE INSTALLED ALONG THE PERIMETER OF THE SITE AND TO REMAIN IN PLACE UNTIL ALL SLOPES ARE STABILIZED.
 2. INSTALL EROSION CONTROL TRACK PAD PRIOR TO COMMENCING EARTHWORK OPERATION.
 3. SILT SACKS SHALL BE INSTALLED UPON COMMENCEMENT OF SITE WORK. SILT SACKS WILL BE MAINTAINED AND CHECKED ROUTINELY AS PART OF THE SWPPP.
 4. BEGIN SITE WORK FOR THE EXCAVATION AND INSTALLATION OF FOUNDATIONS FOR UNITS 2A, 2B, 2C AND 2D. EXCAVATION AND FOUNDATION INSTALLATION SHOULD BE DONE IN PHASE TO LIMIT EXPOSURE OF EXCAVATED SOILS.
 5. UPON COMPLETION OF FOUNDATIONS, SITE SHOULD BE ROUGH GRADED AND EROSION CONTROL STABILIZING HYDROSEED MIX PLACED.
 6. DRIVEWAYS WILL BE INSTALLED TO PROVIDE EXTERIOR CONTRACTOR PARKING AS BUILDING FRAMING AND CONSTRUCTION CONTINUES.
 7. AREAS OUTSIDE OF THE BUILDING FOOTPRINT WILL BE FINISHED GRADES AND ALLOW INSTALLATION OF TREE PLANTINGS AS AVAILABLE.
 8. ONCE BUILDING ENVELOPE IS COMPLETED AND TREES PLANTED REMAINING AREAS WILL BE FINISHED GRADED AND HYDROSEED.

NO.	REV.	DATE	DESCRIPTION

JAE WOR LLC

VALMOR SITE PLAN
DETAIL SHEET 1 OF 3

SCALE: AS SHOWN
DATE: 02/20/2020
C5.1
REV. 30 OF 32

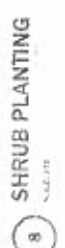
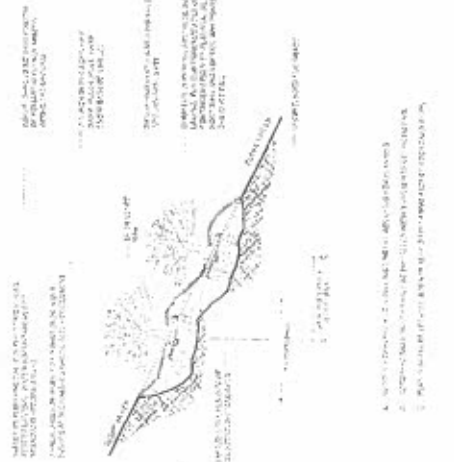
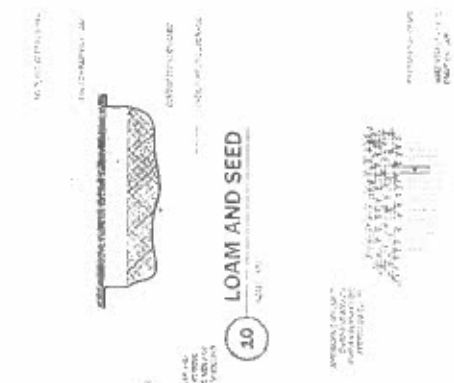


NO.	DESCRIPTION	DATE
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4	ISSUED FOR PERMITS	10/15/14
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18	ISSUED FOR PERMITS	10/15/14
19	ISSUED FOR PERMITS	10/15/14
20	ISSUED FOR PERMITS	10/15/14

JAE WOR LLC

VALMOR SITE PLAN
DETAIL SHEET 2 OF 3

C5.2
11 12

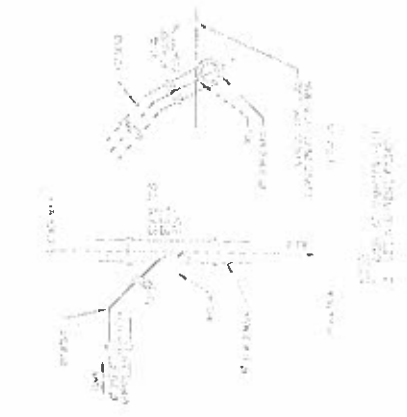


NO.	REV.	DESCRIPTION	DATE

JAE WOR LLC

VALMOR SITE PLAN
DETAIL SHEET 3 OF 3

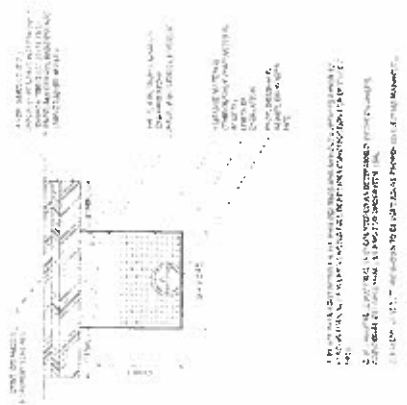
C5.2
SHEET NO. 13 OF 22



13 TYP. TRENCH DETAIL



14 PERMANENT HMA PATCH



15 WATER SERVICE CONNECTION



16 SEWER SERVICE CONNECTION



17 ROOF DRAIN CLEANOUT



**EXISTING CONDITIONS
DRAINAGE AREAS
SITE PLAN
IN
WORCESTER, MA**

OWNED BY:
JAE WOR LLC

DRAWN BY: JRO
DATE: June 18, 2021

REVISION:
REV 0

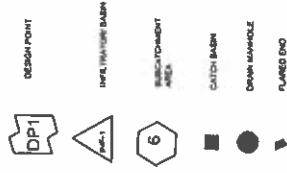
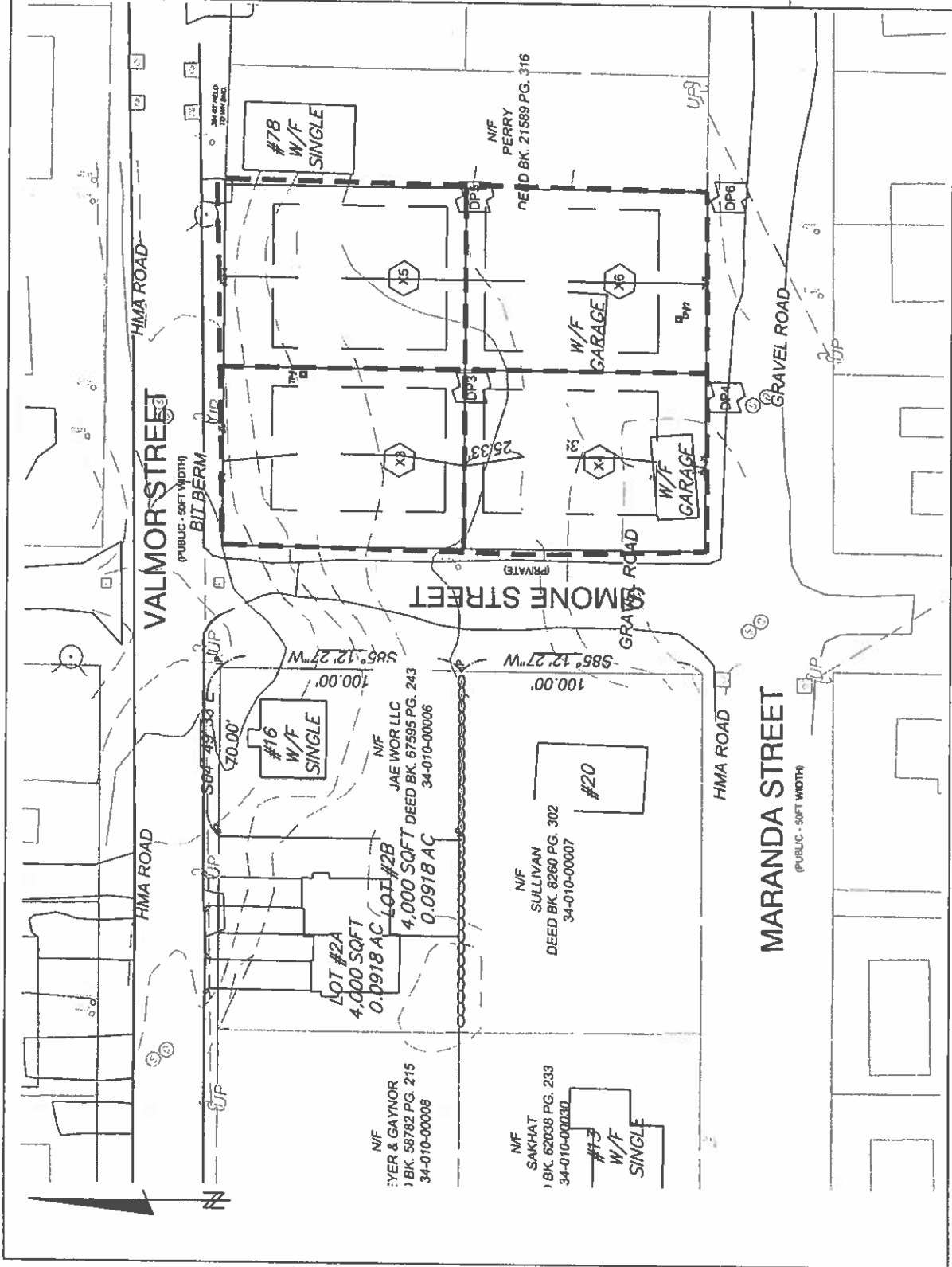


FIG-1



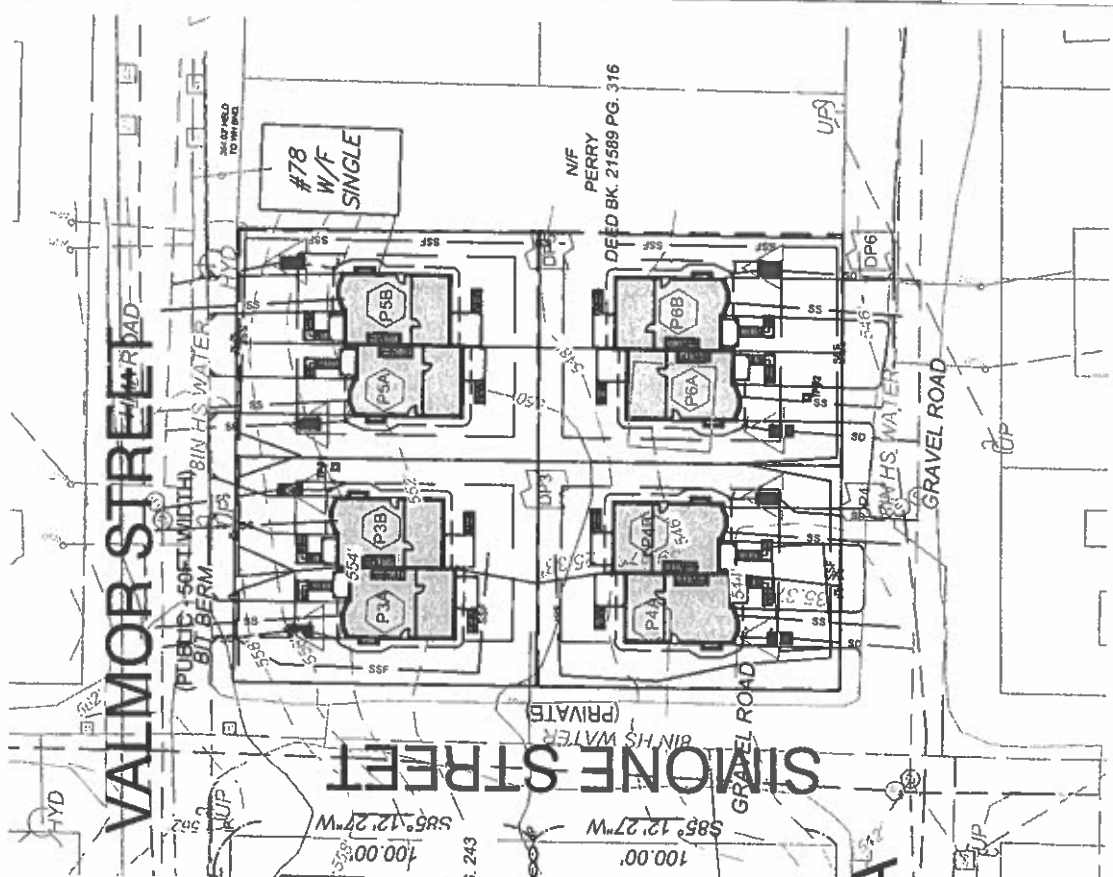
**PROPOSED DRAINAGE
AREAS - 249 WEST
BOYLSTON ST.
IN
WORCESTER, MA**

**OWNED BY:
JAE WOR LLC**

DRAWN BY: JRG DATE: June 16, 2014

REVISION:
REV 0

SCALE: 1"=40'



Lot	Area (sq-ft/acre)	CN Description	Subcatchment Numbers
3	7500 sq-ft	61-75% Grass cover, Good, HSG B 98 Paved parking & roofs TOTAL AREA: 7500 sq-ft	P3A-2, P3B-2 P3A-1, P3A-2, P3B-1, P3B-2
4	0.172 acres	61-75% Grass cover, Good, HSG B 98 Paved parking & roofs TOTAL AREA: 0.172 acres	P4A-2, P4B-2 P4A-1, P4A-2, P4B-1, P4B-2
5	0.172 acres	61-75% Grass cover, Good, HSG B 98 Paved parking & roofs TOTAL AREA: 0.172 acres	P5A-2, P5B-2 P5A-1, P5A-2, P5B-1, P5B-2
6	0.172 acres	61-75% Grass cover, Good, HSG B 98 Paved parking & roofs TOTAL AREA: 0.172 acres	P6A-2, P6B-2 P6A-1, P6A-2, P6B-1, P6B-2

FIG-2



PROJECT: _____
 DRAWING NUMBER: _____
 DATE: _____

ENGINEER: _____
 CHECKED: _____
 DATE: _____

CONTRACT INFORMATION: _____

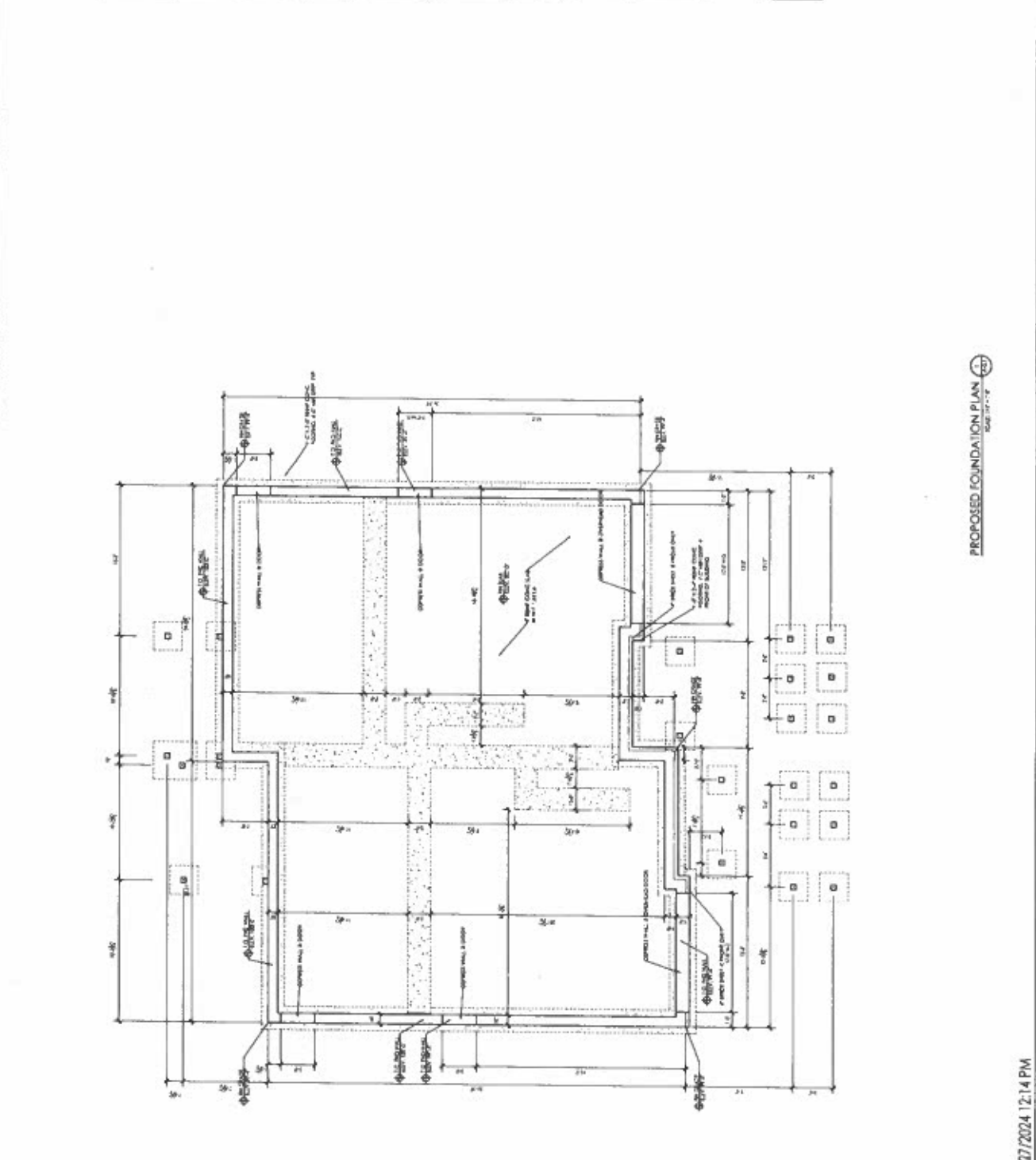
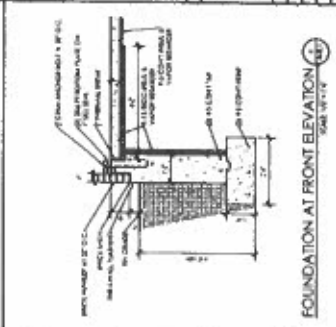
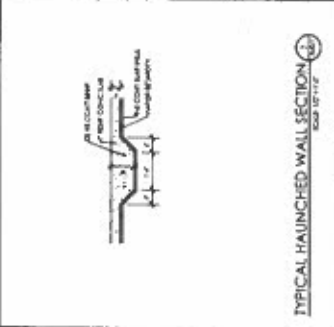
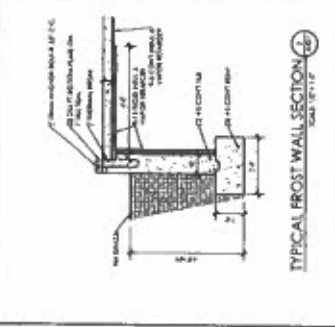
NO. 10000
 MA
 REG. PROFESSIONAL ENGINEER
 GREGORY J. HAMP
 1000 MASSACHUSETTS AVENUE
 WORCESTER, MA 01608

SCALE	AS SHOWN
DATE	06/27/2024
PROJECT	PROPOSED FOUNDATION PLAN
CLIENT	PROPOSED FOUNDATION PLAN
PROJECT NO.	PROPOSED FOUNDATION PLAN
PROJECT ADDRESS	PROPOSED FOUNDATION PLAN
PROJECT CITY	PROPOSED FOUNDATION PLAN
PROJECT STATE	PROPOSED FOUNDATION PLAN
PROJECT ZIP	PROPOSED FOUNDATION PLAN

PROJECT NO.: _____
 PROJECT ADDRESS: _____
 PROJECT CITY: _____
 PROJECT STATE: _____
 PROJECT ZIP: _____

PROJECT NO.: _____
 PROJECT ADDRESS: _____
 PROJECT CITY: _____
 PROJECT STATE: _____
 PROJECT ZIP: _____

PROJECT NO.: _____
 PROJECT ADDRESS: _____
 PROJECT CITY: _____
 PROJECT STATE: _____
 PROJECT ZIP: _____



PROPOSED FOUNDATION PLAN (SCALE 1/8"=1'-0")

ARCHITECT:



ARCHITECT'S STAMP

BOARD:

BOARD'S STAMP

GENERAL INFORMATION:

DATE: 04/18/2024

SCALE: AS NOTED

PROJECT: 2024

DRAWN: JCP

CHECKED: JCP

DATE: 04/18/2024

REVISION DATE:

NO. 1

NO. 2

NO. 3

NO. 4

NO. 5

NO. 6

NO. 7

NO. 8

NO. 9

NO. 10

NO. 11

NO. 12

NO. 13

NO. 14

NO. 15

NO. 16

NO. 17

NO. 18

NO. 19

NO. 20

NO. 21

NO. 22

NO. 23

NO. 24

NO. 25

NO. 26

NO. 27

NO. 28

NO. 29

NO. 30

NO. 31

NO. 32

NO. 33

NO. 34

NO. 35

NO. 36

NO. 37

NO. 38

NO. 39

NO. 40

NO. 41

NO. 42

NO. 43

NO. 44

NO. 45

NO. 46

NO. 47

NO. 48

NO. 49

NO. 50

NO. 51

NO. 52

NO. 53

NO. 54

NO. 55

NO. 56

NO. 57

NO. 58

NO. 59

NO. 60

NO. 61

NO. 62

NO. 63

NO. 64

NO. 65

NO. 66

NO. 67

NO. 68

NO. 69

NO. 70

NO. 71

NO. 72

NO. 73

NO. 74

NO. 75

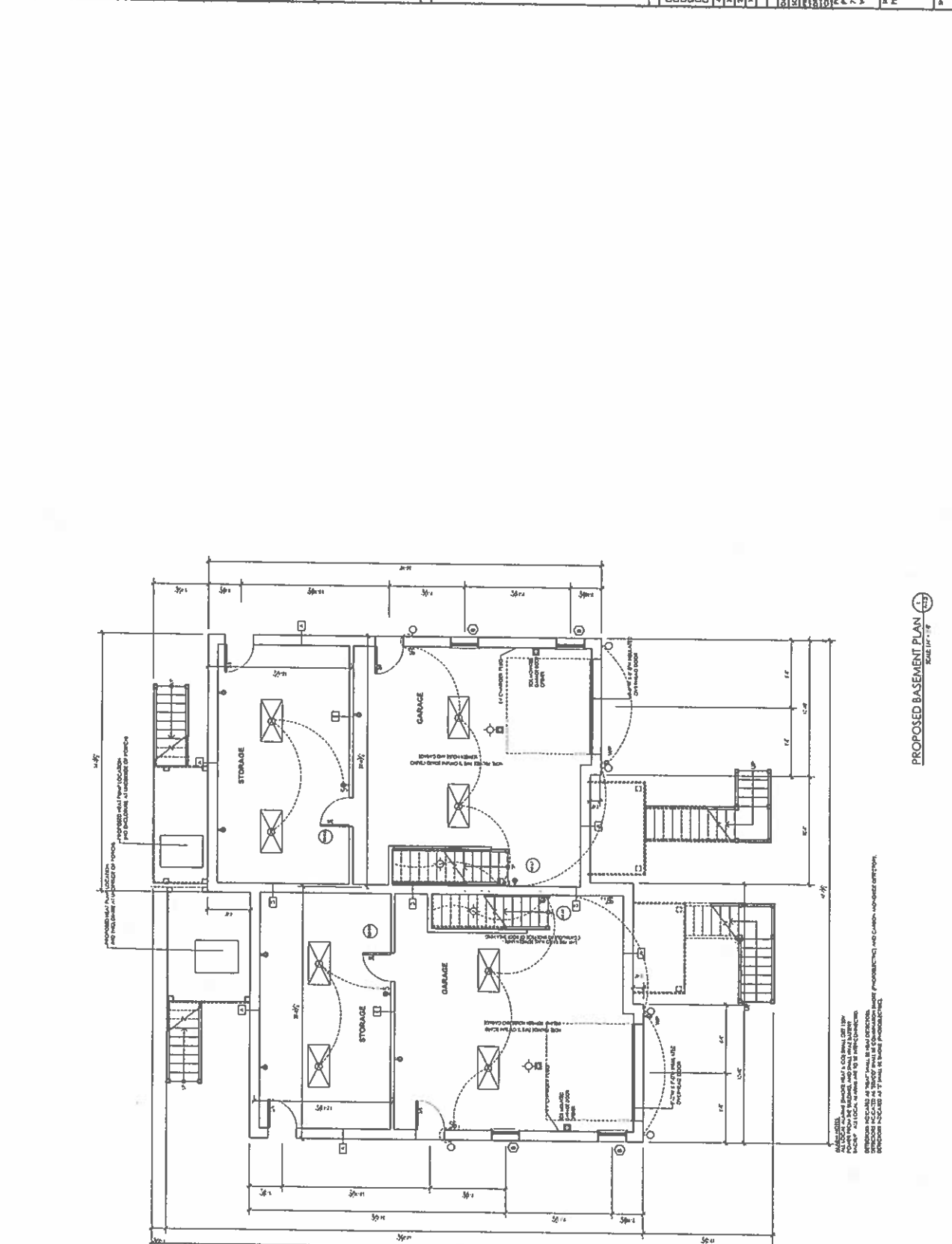
NO. 76

NO. 77

NO. 78

NO. 79

NO. 80



PROPOSED BASEMENT PLAN (1/2) SCALE 1/8" = 1'-0"

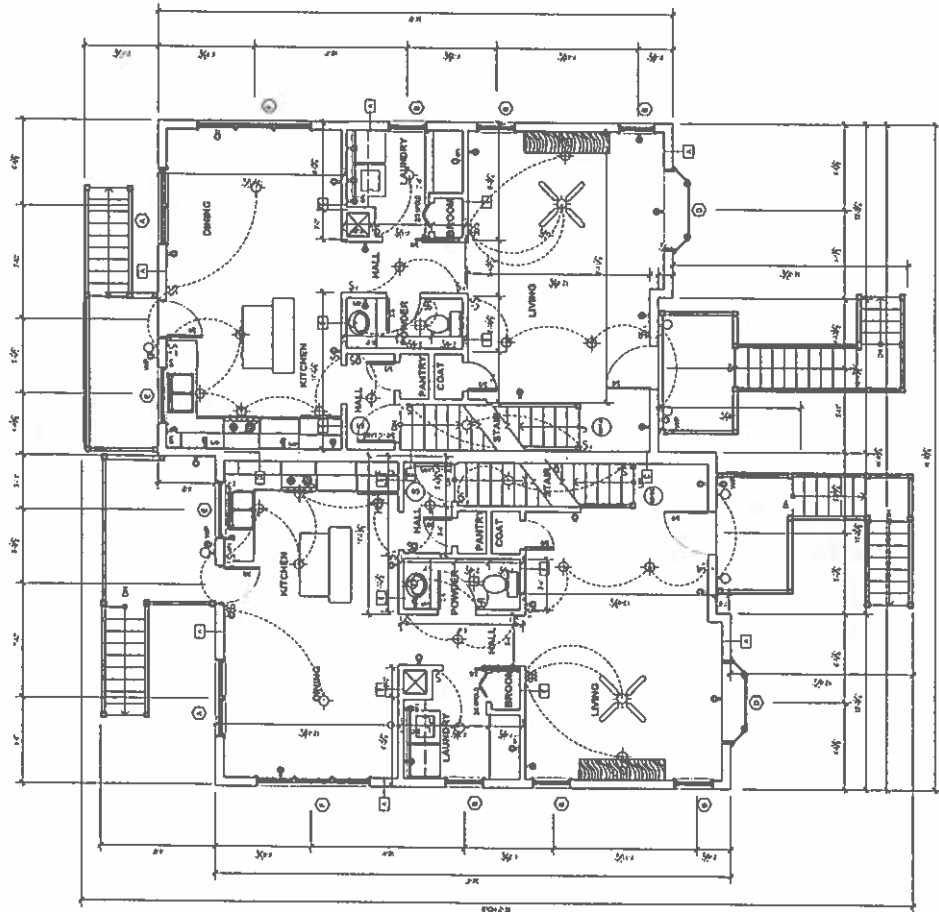


ARCHITECT: **DIXON SALO ARCHITECTS**
 ARCHITECT'S STAMP

ENGINEER

GENERAL INFORMATION:

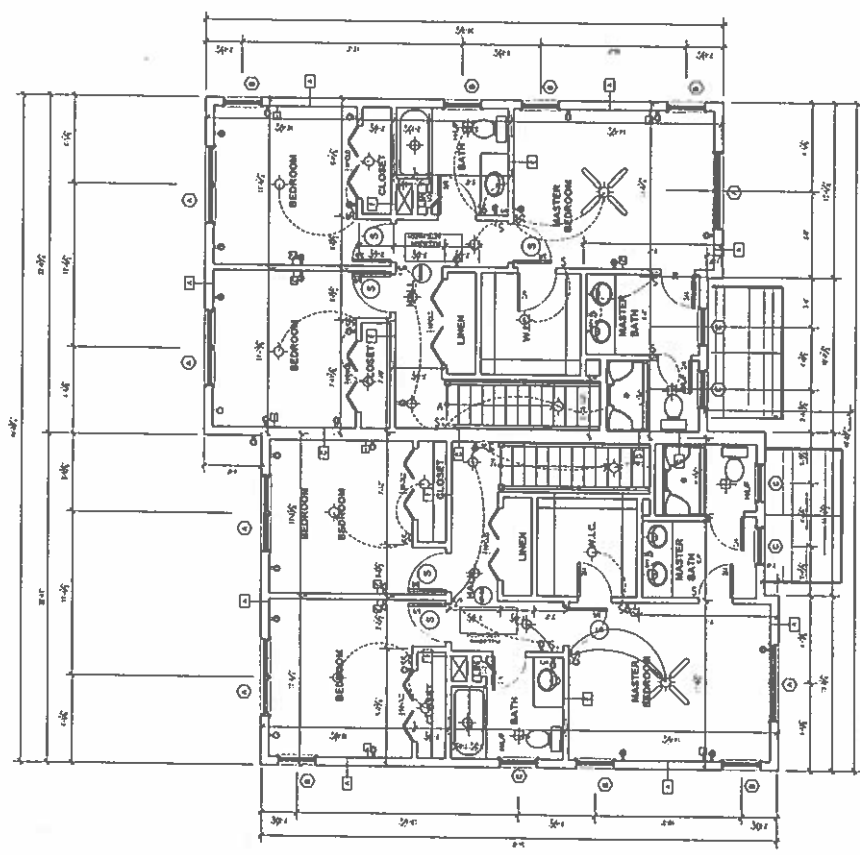
DATE:	08.10.2024
PROJECT:	ANDROS
CLIENT:	ZOH
DESIGNED BY:	ZOH
PROJECT TITLE:	PROPOSED FIRST FLOOR PLAN
PROJECT ADDRESS:	7474 VALUOR STREET WORCESTER, MA 01804
SHEET TITLE:	PROPOSED FIRST FLOOR PLAN
SHEET NUMBER:	A-1.1



PROPOSED FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"

NOTES:
 1. ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL LOCAL, MAJOR AND TO BE INTERFERED.
 3. ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED.

 DYNAMILIS ARCHITECTS ARCHITECTS	 ARCHITECT'S SEAL	ARCHITECT:	ARCHITECT'S FIRM:	PROJECT NAME:	PROJECT NUMBER:	SHEET NUMBER:
		PROJECT NUMBER:	SHEET NUMBER:	SHEET NUMBER:	SHEET NUMBER:	SHEET NUMBER:



ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

ARCHITECT:

 DIXON SAJO ARCHITECTS
 1000 N. 10th St., Suite 100
 Phoenix, AZ 85006
 (602) 254-1111
 www.dixon-sajo.com



OWNER:
 PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT CITY/STATE/ZIP:

DATE:
 SCALE:
 PROJECT NO.:

REVISION DATE:
 DATE:
 SCALE:
 PROJECT NO.:

GENERAL INFORMATION:
 SHEET NO. 4 OF 4
 PROJECT NO. 2024-001

DATE: 06/27/2024
 SCALE: AS SHOWN
 PROJECT: PROPOSED ROOF PLAN
 PROJECT NO. 2024-001

PROJECT TITLE:
 PROPOSED ROOF PLAN
 PROJECT ADDRESS:
 PROJECT CITY/STATE/ZIP:

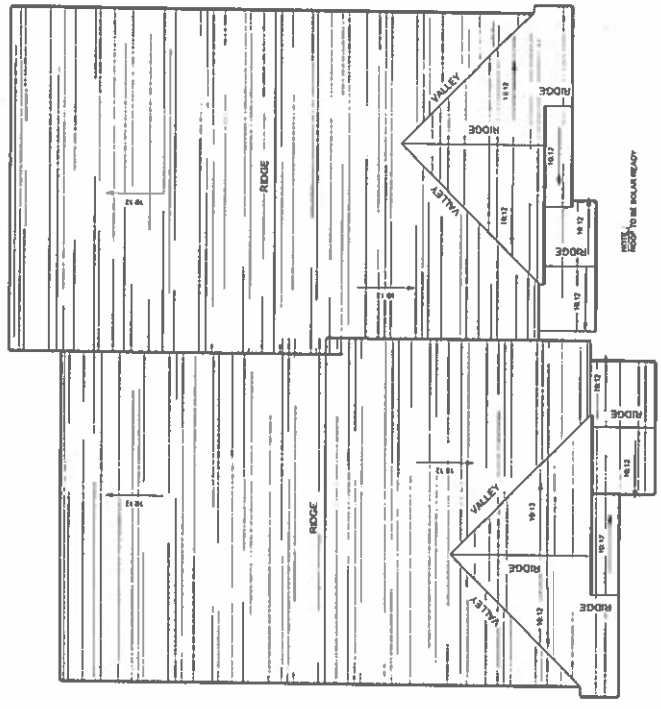
SHEET NO. 4 OF 4
 PROJECT NO. 2024-001

A-1.3

NOTE:
 ALL RIDGE, VALLEY AND GUTTER BRACING TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND STANDARDS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS.

NOTE:
 ALL RIDGE, VALLEY AND GUTTER BRACING TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND STANDARDS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS.

NOTE:
 ALL RIDGE, VALLEY AND GUTTER BRACING TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND STANDARDS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS. BRACING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS.



PROPOSED ROOF PLAN
 SHEET 4 OF 4

ARCHITECT: **dpa**
 DESIGN ARCHITECTS
 410 STATE ST
 SUITE 1000
 WOXCESTER, MA 01604



ENGINEER:
 ENGINEER'S STAMP:

GENERAL INFORMATION:

DATE: 11/15/2023
 PROJECT: 311-9716
 SHEET: 01 OF 04

CONTRACT NO: N/A
 DRAWING NO: N/A
 PROJECT NO: 311-9716
 SHEET NO: 01 OF 04
 PROJECT NAME: PROPOSED FIRST FLOOR FRAMING PLAN
 PROJECT LOCATION: 311-9716, WOXCESTER, MA 01604

LOADS

Category	Value	Notes
Dead (D)	10 psf	Per Building Code
Live (L)	40 psf	Per Building Code
Wind (W)	15 psf	Per ASCE 7
Snow (S)	0 psf	Per Building Code
Seismic (E)	0.17	Per ASCE 7

LOADS - CONT.

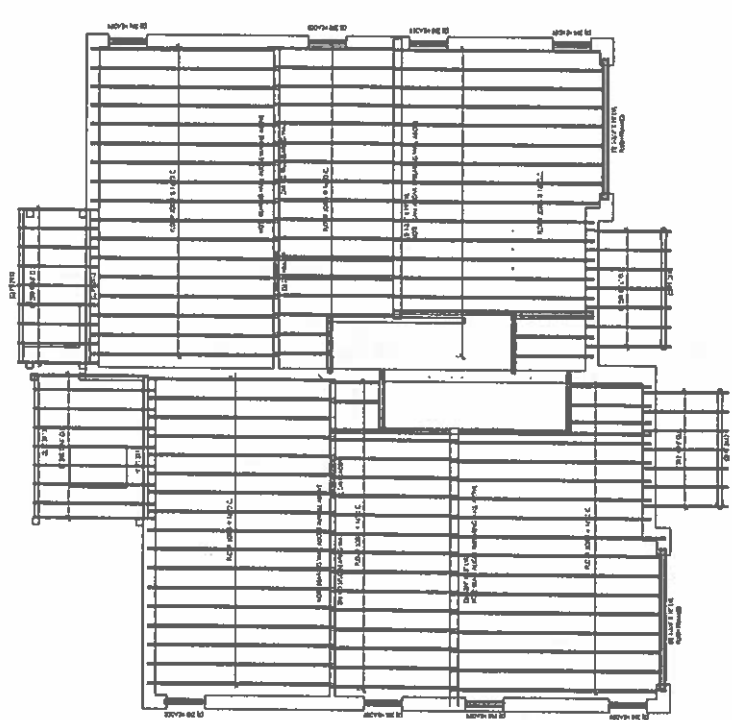
Category	Value	Notes
Roof Dead (RD)	5 psf	Per Building Code
Roof Live (RL)	0 psf	Per Building Code
Roof Snow (RS)	0 psf	Per Building Code
Roof Seismic (RE)	0.085	Per ASCE 7

LOADS - CONT.

Category	Value	Notes
Roof Wind (RW)	0 psf	Per ASCE 7
Roof Live (RL)	0 psf	Per Building Code
Roof Snow (RS)	0 psf	Per Building Code
Roof Seismic (RE)	0.085	Per ASCE 7

LOADS - CONT.

Category	Value	Notes
Roof Wind (RW)	0 psf	Per ASCE 7
Roof Live (RL)	0 psf	Per Building Code
Roof Snow (RS)	0 psf	Per Building Code
Roof Seismic (RE)	0.085	Per ASCE 7



PROPOSED FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



ARCHITECT'S STAMP

ENGINEER'S STAMP

GENERAL INFORMATION:

PROJECT: PROPOSED SECOND FLOOR FRAMING

DATE: 06.10.2024
 SCALE: AS NOTED
 PROJECT: [REDACTED]
 DRAWING: Z01
 SHEET: Z01

PROJECT: PROPOSED SECOND FLOOR FRAMING
 74-74 VALUOR STREET
 WORCESTER, MA 01604

SHEET NUMBER
A-2.2

Load Line Deflection

Member	Span	Load	Deflection	Limit
2x12 Lumber	10'-0"	40 PSF	0.15"	0.20"
2x12 Lumber	10'-0"	20 PSF	0.08"	0.10"

Load Line Deflection (Minimum Diaphragm per Code)

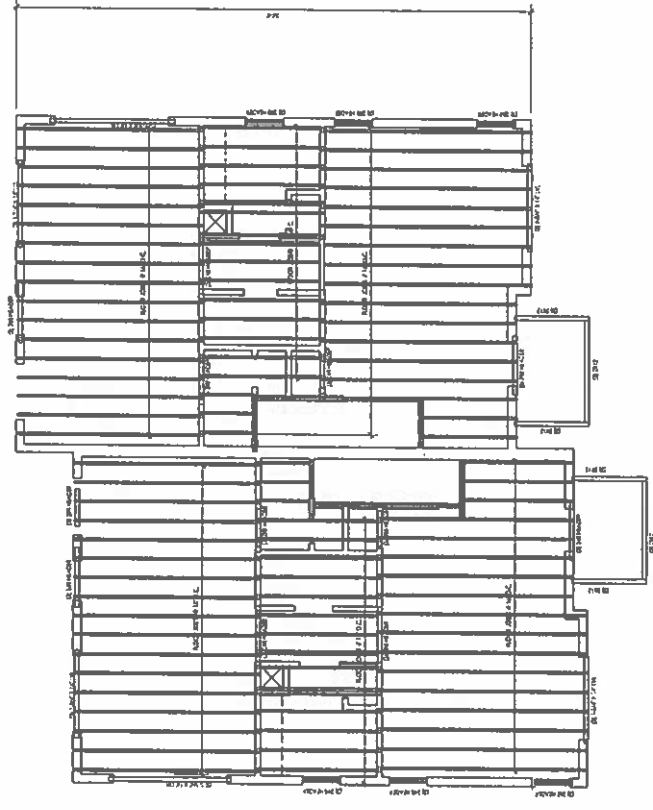
Member	Span	Load	Deflection	Limit
2x12 Lumber	10'-0"	40 PSF	0.15"	0.20"
2x12 Lumber	10'-0"	20 PSF	0.08"	0.10"

Load Line Deflection (Minimum Diaphragm per Code)

Member	Span	Load	Deflection	Limit
2x12 Lumber	10'-0"	40 PSF	0.15"	0.20"
2x12 Lumber	10'-0"	20 PSF	0.08"	0.10"

Load Line Deflection (Minimum Diaphragm per Code)

Member	Span	Load	Deflection	Limit
2x12 Lumber	10'-0"	40 PSF	0.15"	0.20"
2x12 Lumber	10'-0"	20 PSF	0.08"	0.10"



PROPOSED SECOND FLOOR FRAMING PLAN
 SCALE: 1/8" = 1'-0"

ARCHITECT:
DIXON SAIGO ARCHITECTS
 1000 15th Street, Suite 100
 San Francisco, CA 94103
 (415) 774-1111
 www.dixon-saigo.com



PROJECT:
 GENERAL INFORMATION:

OWNER:
 CONTRACTOR:
 DATE:

PROJECT TITLE:
 PROJECT ADDRESS:
 PROJECT CITY/STATE/ZIP:

DATE: 04/10/2024
 SCALE: AS SHOWN
 PROJECT: 24-0000
 SHEET NO: 24-0000
 SHEET TOTAL: 24-0000

PROJECT TITLE:
 PROJECT ADDRESS:
 PROJECT CITY/STATE/ZIP:

PROJECT TITLE:
 PROJECT ADDRESS:
 PROJECT CITY/STATE/ZIP:

SHEET NUMBER:
A-2.3

4x4 Lumber

Span	4x4	4x6	4x8	4x10	4x12
10'	1.00	1.00	1.00	1.00	1.00
12'	1.00	1.00	1.00	1.00	1.00
14'	1.00	1.00	1.00	1.00	1.00
16'	1.00	1.00	1.00	1.00	1.00
18'	1.00	1.00	1.00	1.00	1.00
20'	1.00	1.00	1.00	1.00	1.00
22'	1.00	1.00	1.00	1.00	1.00
24'	1.00	1.00	1.00	1.00	1.00
26'	1.00	1.00	1.00	1.00	1.00
28'	1.00	1.00	1.00	1.00	1.00
30'	1.00	1.00	1.00	1.00	1.00

L240 Live Load Deflection

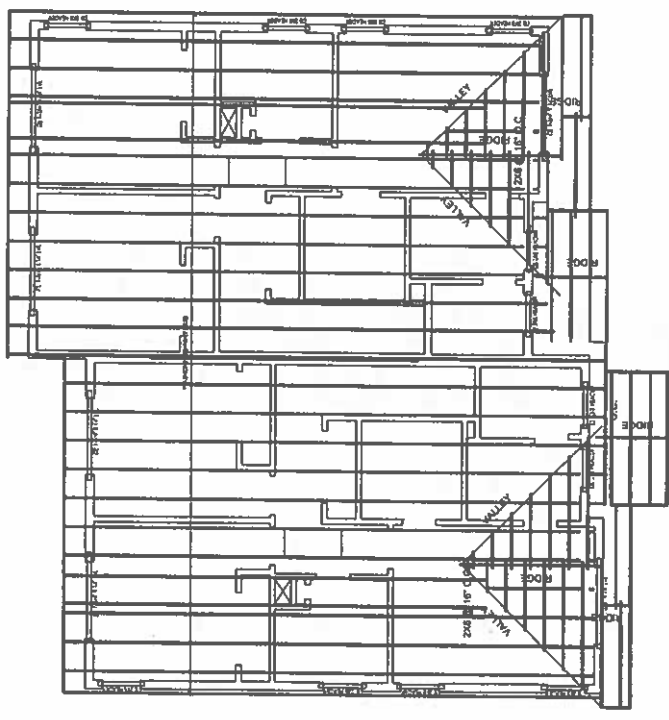
Span	L240	L240	L240	L240	L240
10'	0.00	0.00	0.00	0.00	0.00
12'	0.00	0.00	0.00	0.00	0.00
14'	0.00	0.00	0.00	0.00	0.00
16'	0.00	0.00	0.00	0.00	0.00
18'	0.00	0.00	0.00	0.00	0.00
20'	0.00	0.00	0.00	0.00	0.00
22'	0.00	0.00	0.00	0.00	0.00
24'	0.00	0.00	0.00	0.00	0.00
26'	0.00	0.00	0.00	0.00	0.00
28'	0.00	0.00	0.00	0.00	0.00
30'	0.00	0.00	0.00	0.00	0.00

L240 Live Load Deflection (Maximum Overall) (in. @ 24")

Span	L240	L240	L240	L240	L240
10'	0.00	0.00	0.00	0.00	0.00
12'	0.00	0.00	0.00	0.00	0.00
14'	0.00	0.00	0.00	0.00	0.00
16'	0.00	0.00	0.00	0.00	0.00
18'	0.00	0.00	0.00	0.00	0.00
20'	0.00	0.00	0.00	0.00	0.00
22'	0.00	0.00	0.00	0.00	0.00
24'	0.00	0.00	0.00	0.00	0.00
26'	0.00	0.00	0.00	0.00	0.00
28'	0.00	0.00	0.00	0.00	0.00
30'	0.00	0.00	0.00	0.00	0.00

L240 Live Load Deflection (Maximum Overall) (in. @ 24")

Span	L240	L240	L240	L240	L240
10'	0.00	0.00	0.00	0.00	0.00
12'	0.00	0.00	0.00	0.00	0.00
14'	0.00	0.00	0.00	0.00	0.00
16'	0.00	0.00	0.00	0.00	0.00
18'	0.00	0.00	0.00	0.00	0.00
20'	0.00	0.00	0.00	0.00	0.00
22'	0.00	0.00	0.00	0.00	0.00
24'	0.00	0.00	0.00	0.00	0.00
26'	0.00	0.00	0.00	0.00	0.00
28'	0.00	0.00	0.00	0.00	0.00
30'	0.00	0.00	0.00	0.00	0.00



PROPOSED ROOF FRAMING PLAN
 SCALE: 1/8" = 1'-0"



DATE: _____
 PROJECT: _____
 DRAWING NO.: _____
 SHEET NO.: _____

GENERAL NOTES:
 1. SEE ARCHITECT'S MANUAL FOR COMPLETE LIST OF MATERIALS AND FINISHES.
 2. ALL MATERIALS AND FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

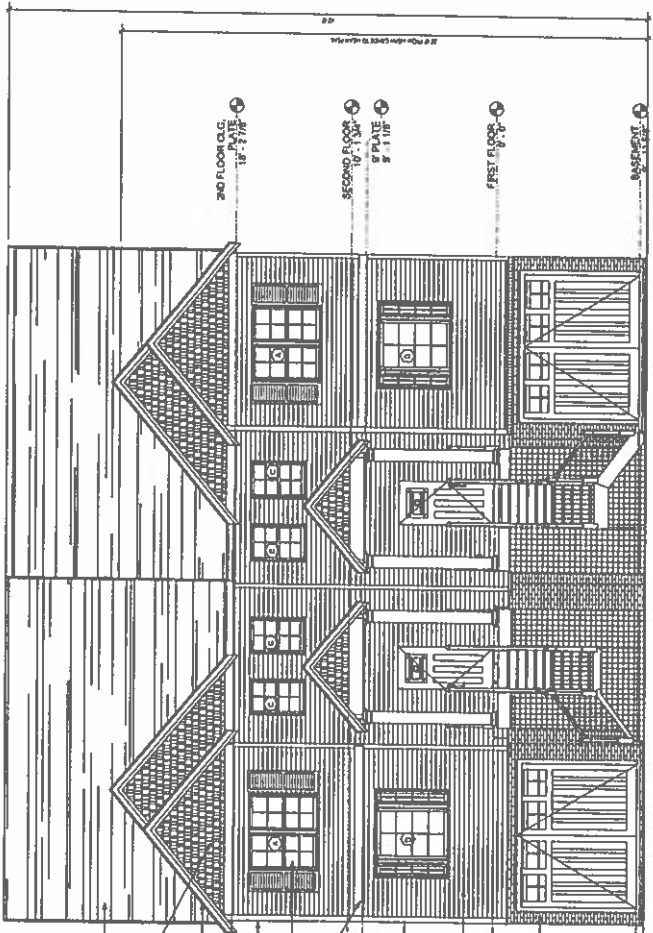
FORMAL: N/A
 CHECK DEVELOPMENT: N/A
 PERMIT: N/A
 CONTRACTOR: N/A
 DURING CONSTRUCTION: N/A

DATE	06.10.2024
SCALE	AS SHOWN
DRAWN BY	JCA
CHECKED BY	JCA

PROJECT TITLE:
 PROPOSED DUPLEX
 1101 STATE STREET
 WORCESTER, MA 01602

SHEET TITLE:
 PROPOSED FRONT BUILDING ELEVATION

SHEET NUMBER:
 A-3.1



ASPHALT SHINGLE ROOFING

VINYL SIDING AS SELECTED BY OWNER

ALUMINUM CRIP EDGE ON 1/2\"/>

SHUTTERS AS SELECTED BY OWNER

VINYL WINDOWS W/ LOW E INSULATED GLASS

BEAUTY BAND

4\"/>

VINYL SIDING AS SELECTED BY OWNER

OPTIONAL BRICK VENEER AS SELECTED BY OWNER

PROPOSED FRONT BUILDING ELEVATION
 SCALE: 1/4\"/>

ARCHITECT: **dha**
 DIXON SALO ARCHITECTS
 1000 STATE ST. SUITE 200
 WASHINGTON, MA 01890
 TEL: 508.333.1111 FAX: 508.333.1112
 WWW.DIXONSALO.COM

ARCHITECT'S STAMP

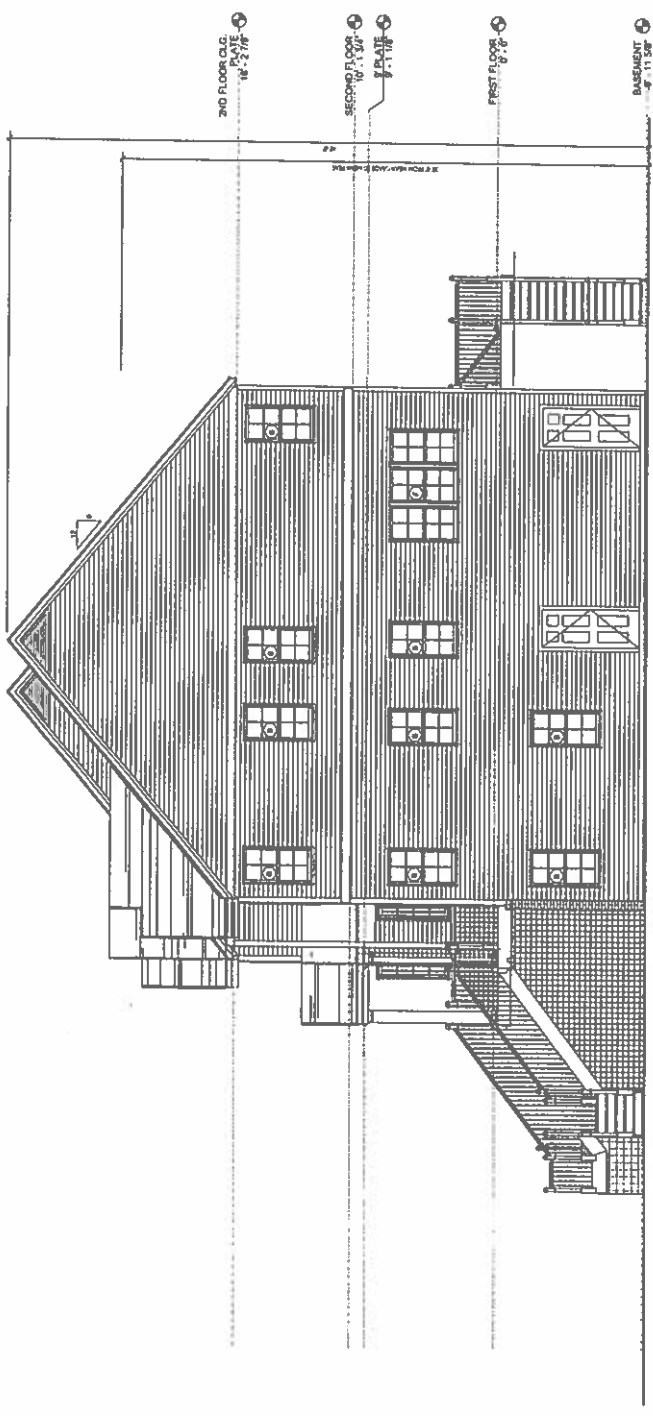
REGISTERED PROFESSIONAL ARCHITECT
 STATE OF MASSACHUSETTS
 NO. 10000

PROJECT: [REDACTED]
 SHEET NO. [REDACTED]
 DATE: [REDACTED]

DATE: 06.10.2024
 SCALE: AS SHOWN
 PROJECT NO.: [REDACTED]
 SHEET NO.: [REDACTED]
 PROJECT TITLE: PROPOSED DUPLEX
 47 W. LAUNDRY STREET
 WASHINGTON, MA 01890

SHEET TITLE: PROPOSED RIGHT SIDE BUILDING ELEVATION

SHEET NUMBER: **A-32**



PROPOSED RIGHT SIDE BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



ARCHITECT'S STAMP

ENGINEER'S STAMP

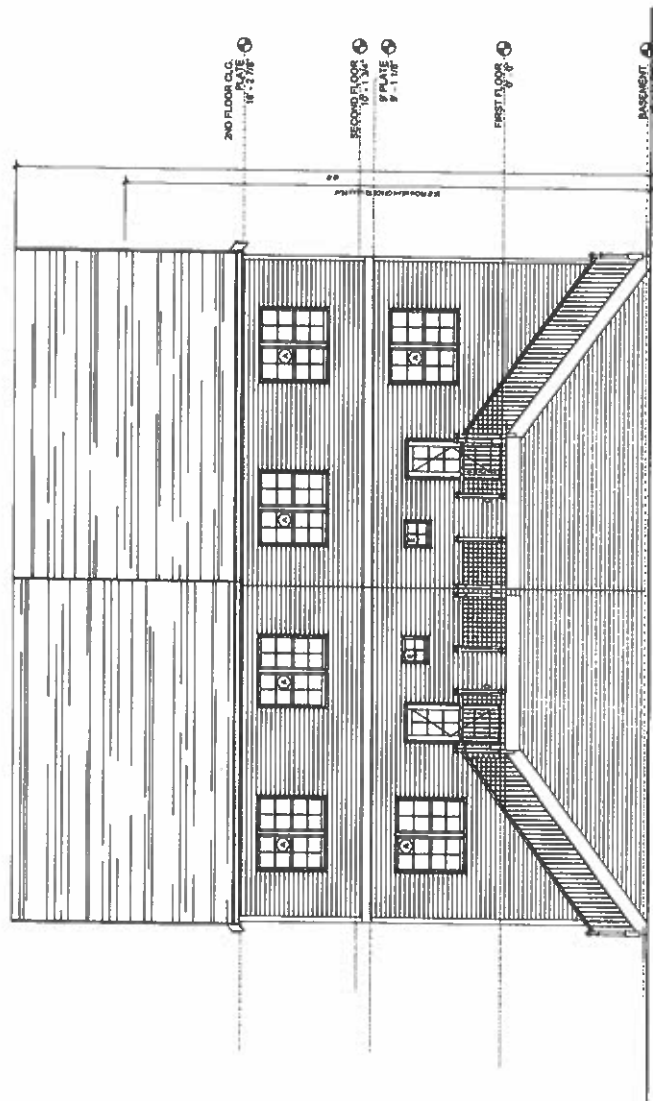
GENERAL INFORMATION

SCHEMATIC N/A
CONCEPT DEVELOPMENT N/A
PRELIM N/A
FINAL N/A
PERMITS N/A
ISSUE FOR CONSTRUCTION N/A
DATE: 04.18.2024

DATE: 04.18.2024
DRAWN BY: ALM/STP
CHECKED BY: JCH
PROJECT TITLE: PROPOSED DUPLEX
PROJECT ADDRESS: 100 WASHINGTON ST
WORCESTER, MA 01602

DATE: 04.18.2024
DRAWN BY: ALM/STP
CHECKED BY: JCH
PROJECT TITLE: PROPOSED DUPLEX
PROJECT ADDRESS: 100 WASHINGTON ST
WORCESTER, MA 01602

DATE: 04.18.2024
DRAWN BY: ALM/STP
CHECKED BY: JCH
PROJECT TITLE: PROPOSED DUPLEX
PROJECT ADDRESS: 100 WASHINGTON ST
WORCESTER, MA 01602



PROPOSED REAR BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

ARCHITECT



DIXON SALO
ARCHITECTS

1789 N. MAIN STREET
SUITE 100
Worcester, MA 01609
508.853.8282



ENGINEER

ENGINEER'S STAMP

GENERAL INFORMATION

DATE: 06.03.2024

SCALE: AS SHOWN

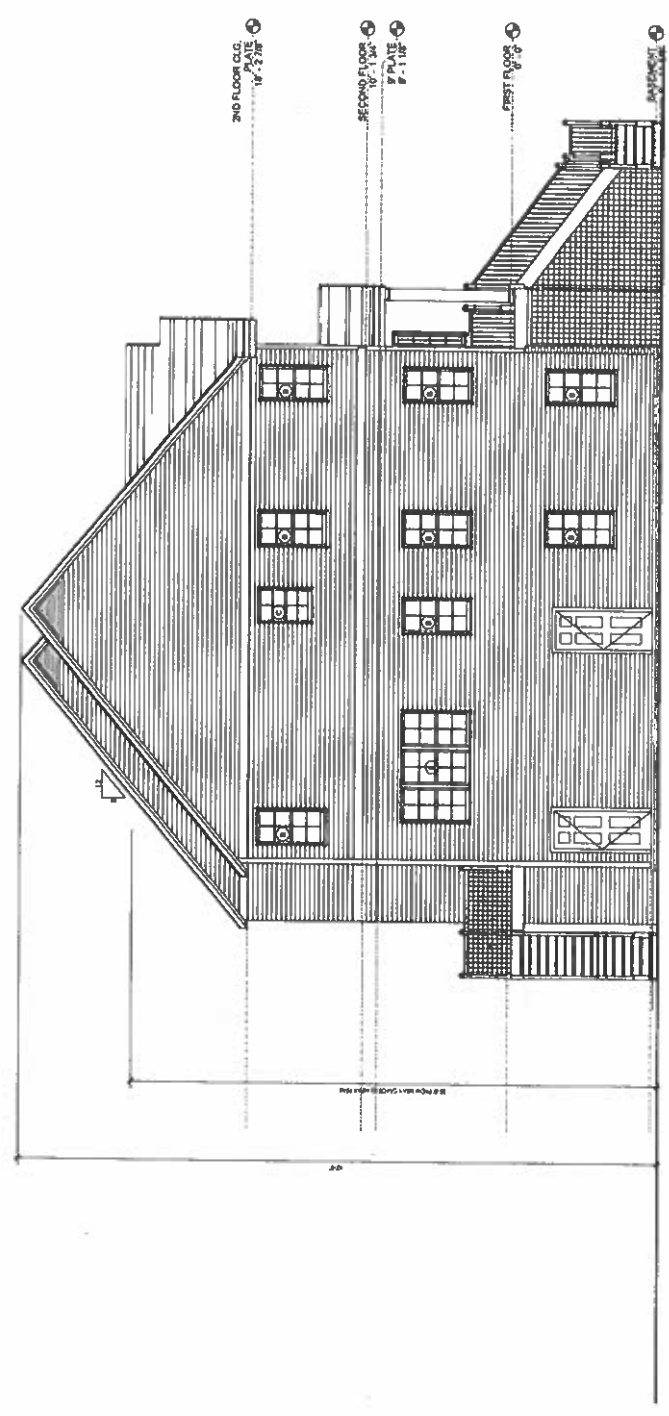
PROJECT: PROPOSED DUPLEX

DRAWN: JSH

CHECKED: JSH

PROPOSED DUPLEX
72-74 VALUOR STREET
WORCESTER, MA 01604

1	FOUNDATION	MA
2	1ST FLOOR	MA
3	2ND FLOOR	MA
4	ROOF	MA
5	CONSTRUCTION	MA
6	FINISH CONDITIONS	MA
7	WINDOW DATE	MA



PROPOSED LEFT SIDE BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

ARCHITECT:
DRONISALO ARCHITECTS
 3800 S. GARDEN AVENUE, SUITE 100
 DENVER, CO 80202
 303.733.1111
 www.dronisalo.com



ENGINEER:
 ENGINEER'S STAMP

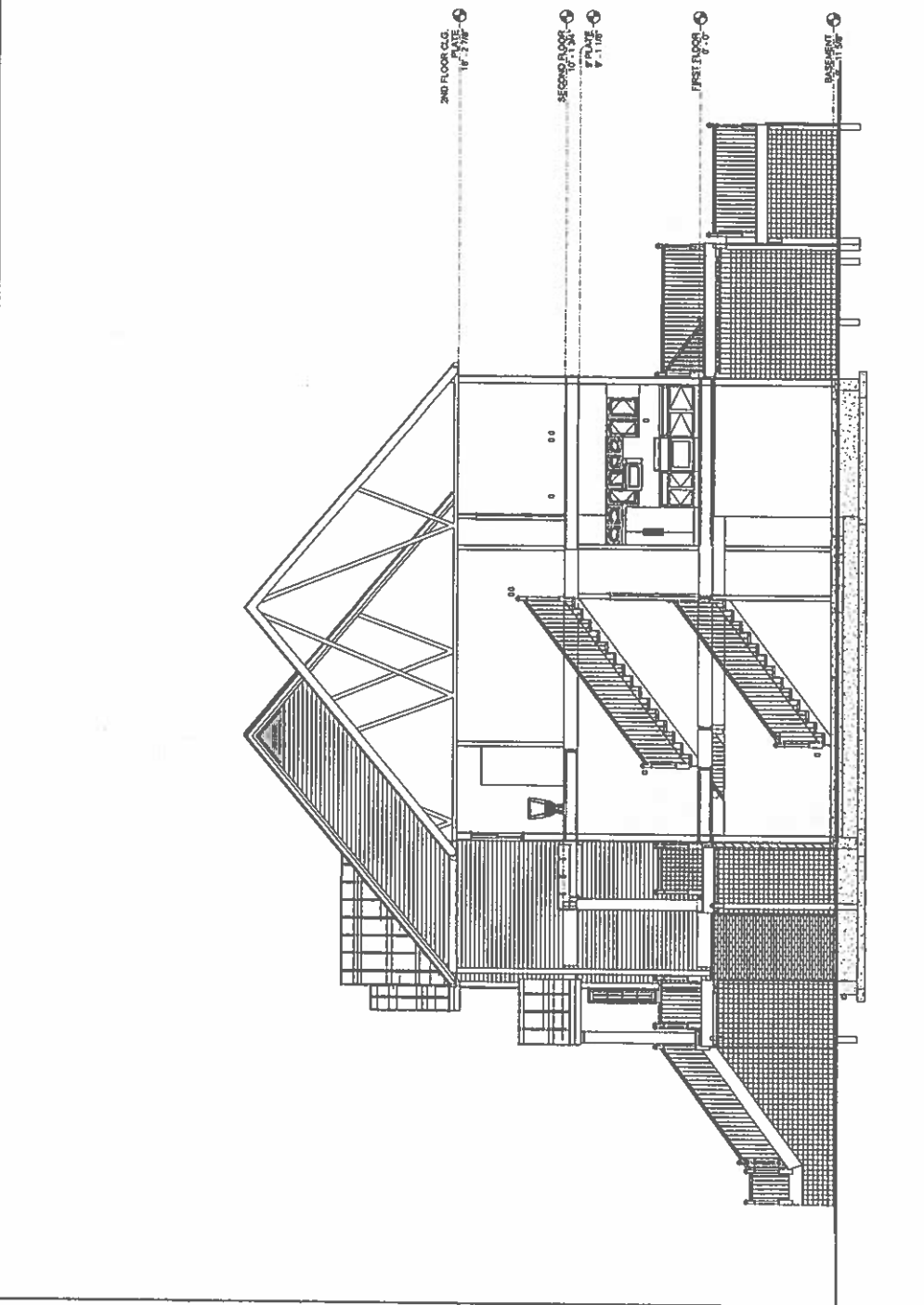
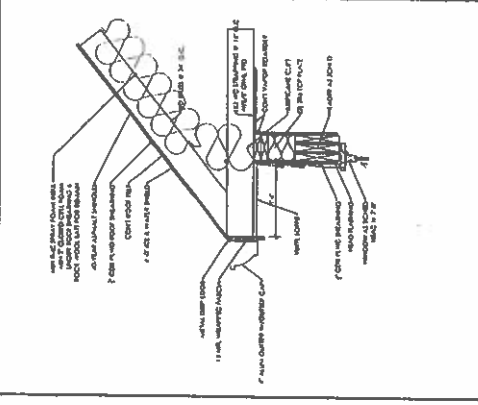
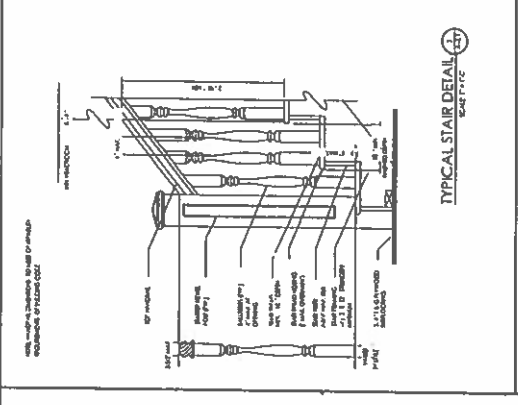
GENERAL INFORMATION:

DATE: 06.10.2024
 SCALE: AS SHOWN
 PROJECT: [REDACTED]
 DRAWING NO.: [REDACTED]
 SHEET NO.: [REDACTED]

PROJECT FILE:
 PROPOSED DUPLEX
 1728 VALANCE STREET
 WASHINGTON, DC 20004

SHEET FILE:
 PROPOSED BUILDING SECTION

SHEET NUMBER:
A-4.1



PROPOSED BUILDING SECTION
 SCALE: 1/4\"/>



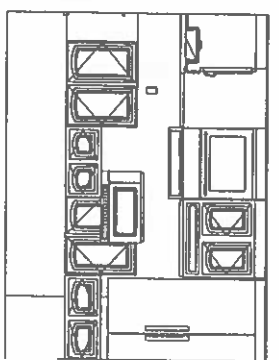
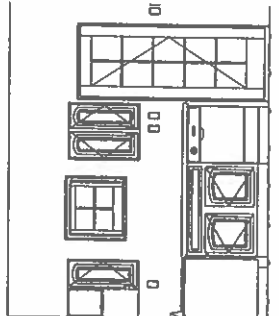
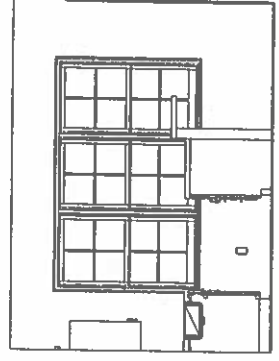
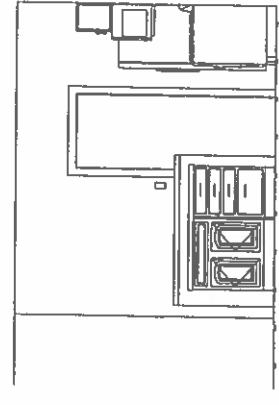
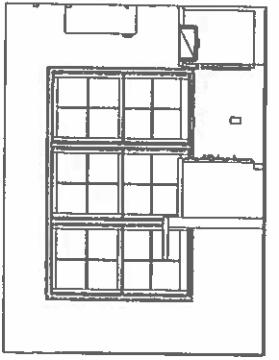
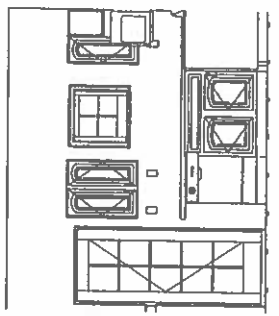
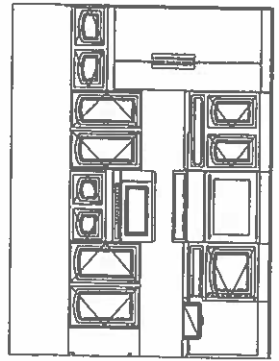
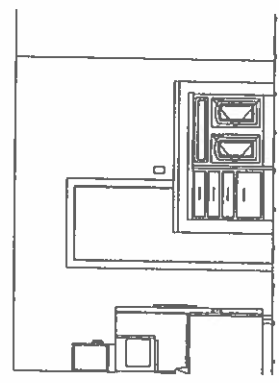
ARCHITECT
 ENGINEER

ENGINEER'S STAMP

GENERAL INFORMATION

DATE	06.10.2024
SCALE	AS NOTED
PROJECT	
DRAWN	JDP
CHECKED	JDP
PROPOSED DUPLEX	
747 VALMOR STREET	
Worcester, MA 01604	
PROPOSED INTERIOR ELEVATIONS	

A-5.1



PROPOSED KITCHEN INTERIOR ELEVATIONS
 1/8" = 1' - 0"

ARCHITECT:
DIXON SALO
ARCHITECTS
100 WASHINGTON STREET
WORCESTER, MA 01602
PH: 508.853.1234
WWW.DIXONSALO.COM



ARCHITECT'S STAMP

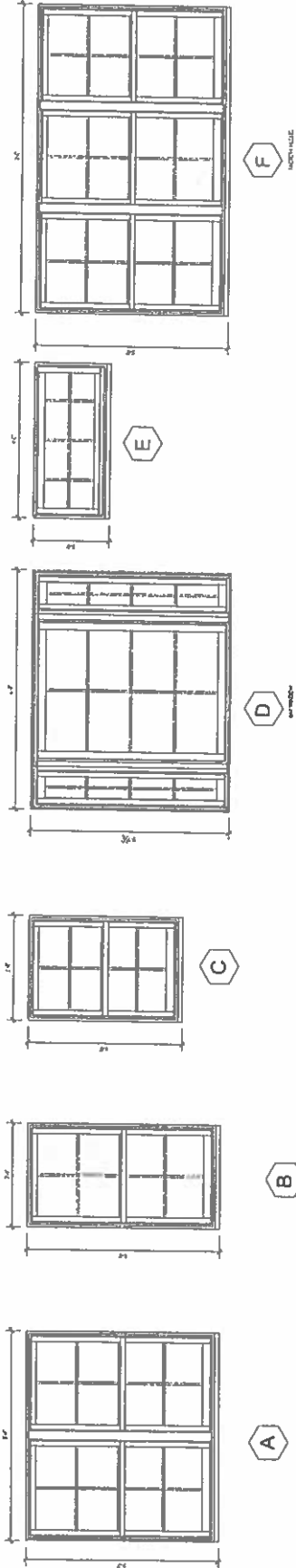
ENGINEER'S STAMP

ENGINEER'S STAMP

GENERAL INFORMATION

DATE	08.12.2024
SCALE	AS SHOWN
PROJECT	
DRAWN	JCH
CHECKED	JCH
PROJECT LOCATION	PROPOSED CAMP E1 72-74 VALLAUGH STREET WORCESTER, MA 01604
SHEET TITLE	PROPOSED WINDOW TYPES
SHEET NUMBER	A-5.2

DATE	08.12.2024
SCALE	AS SHOWN
PROJECT	
DRAWN	JCH
CHECKED	JCH
PROJECT LOCATION	PROPOSED CAMP E1 72-74 VALLAUGH STREET WORCESTER, MA 01604
SHEET TITLE	PROPOSED WINDOW TYPES
SHEET NUMBER	A-5.2



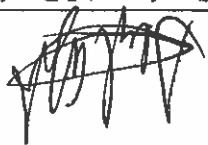
PROPOSED WINDOW TYPES
SCALE: 3/4" = 1'-0"

February 15, 2024

City of Worcester, MA

BK: 70308 Pg: 289
Page: 1 of 5 03/21/2024 01:39 PM WD

I certify that twenty days have elapsed after the attached Decision for 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 6A, Lot 6B has been filed with the City Clerk Department as of January 9, 2024 and that no appeal has been filed.



Stephen AJ Pottle
Deputy City Clerk I



VARIANCE EXTENSION OF TIME – FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B (MBL 34-010-00004) ZB-2023-098

The Zoning Board of Appeals scheduled a hybrid public hearing on December 18, 2023, at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the petition of JAE Wor LLC, seeking a Variance Extension of Time for property located at 24 Simone Street, Worcester, Massachusetts.

Due notice of the public hearing to be held on December 18, 2023, was sent to the individuals listed on the City of Worcester Certified Abutter's list for the subject property.

On December 4 & December 11, 2023, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

On December 18, 2023, the hybrid meeting was called to order by Russell Karstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karstad, George Cortes, Nathan Sabo, and Shannon Campanello. Board members Jordan Berg Powers, Anthony Dell'Aera, and Eric Tokomoo participated remotely. Remote participation was facilitated for attendees via phone at call-in number, 844-621-3956 (Access Code: 2630 362 4924) and via WebEX link (<https://cityofworcester.webex.com/join/zoningboardofappealswebex>).

FINDINGS

The Worcester Zoning Board of Appeals (ZBA), having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 90 Madison Street, Suite 160, Worcester, MA 01608, is the owner and petitioner of certain land situated at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), recorded at the Worcester District Registry of Deeds Book 67595, Page 247.
2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as an RL-7 (Residence, Limited) zoning district.
3. Presently on the premises of 24 Simone Street is a single-family detached dwelling with a detached garage and detached barn.
4. The petitioner seeks an extension of time for the previously approved relief granted for the demolition of the existing site improvements and construction of four semi-detached (duplex) single-family dwellings (total of 8 units), each on their own lot.
5. The petitioner seeks an Extension of Time for a period of six months for the following relief:

Extension of Time

Variance: For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

Findings of Fact – Variance:

Per Article II, Section 6 (A)(3), the ZBA, as Permit Granting Authority, may grant upon appeal or petition with respect to particular land or structures, a variance from the dimensional terms of the Zoning Ordinance. The ZBA may grant a variance only when all statutory requirements are met, including the following findings:

- a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:
 The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner the right to fully utilize the area available and put said property to its highest and best use.
- b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:
 The land in question has a total of 30,000 square feet of area with 150 feet or frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable setbacks requirements can easily be satisfied.
- c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:
 The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an overall density that is not inconsistent with the controls provided in the Zoning Ordinance. There are numerous existing single-family semi-detached housing units in the vicinity, thus the single-family semi-detached unit style proposed is consistent with surrounding property uses and the development character of the area and presents no detriment to the public good. All applicable building setbacks will be complied with and applicable off-street parking requirements satisfied.
- d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:
 The requested relief is the minimum required for the proposed use and amounts to an approximately 6.25% reduction in lot area per lot.

DECISION

At a meeting of the Board on December 18, 2023, and on motion duly made and seconded, it was voted 5-0 by Board members Russell Karistad, George Cortes, Jordan Berg Powers, Anthony Dell'Aera, and Eric Torkornoo to approve the **Variance Extension of Time** for a period of six (6) months, extending the expiration date to June 6, 2024, for previously granted relief:

Extension of Time

Variance:

For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2)

retaining all conditions of approval from the original decision, recorded at the Worcester District Registry of Deeds in Book 68832, Page 290.

The Extension of Time for the Variance shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by the Variance must commence no later than six months from the grant hereof. If the requested Variances are litigated, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered. Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk. It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision. The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

ADJOURNED

Russell Karlstad
DocuSign by: _____
DATE 01/08/2024

Jordan Berg-Powers
DocuSign by: _____
DATE 01/08/2024

George Cortes
DATE _____

Eric Torkornoo
DATE _____

Anthony Dell'Aera
DATE _____

REMINDERS

Time Limitations: Per Article II, Section 9.D.7, of the City of Worcester Zoning Ordinance: If the rights authorized by a Variance are not exercised within one (1) year of the date of grant or grantee of such Variance they shall lapse. However, the permit granting authority in its discretion and upon written application by the grantee or the applicant may extend the time for exercise of such rights for a period not to exceed six (6) months; and provided further, that the application for such extension is filed with such permit granting authority prior to the expiration of such one year period.
Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C, iv of the City of Worcester Zoning Ordinance.
Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, lower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 8:00 p.m. on weekdays and Saturday, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays. Per Chapter 9 Section 1A (e) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.



VARIANCE - FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B (MBL 34-010-00004)

ZB-2022-084

The Zoning Board of Appeals scheduled a hybrid public hearing on November 14, 2022 at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the petition of JAE Wor LLC, seeking eight Variances for property located at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), Worcester, Massachusetts.

Due notice of the public hearing to be held on November 14, 2022 was sent to the individuals listed on the City of Worcester Certified Abuter's list for the subject property. On October 28 & November 4, 2022, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

November 14, 2022 the hybrid meeting was called to order by Russell Karstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karstad, Shamon Campanello and George Cortes. Board members Anthony Dell'Aera, Nathan Sabo, and Jordan Berg Powers participated remotely. Board member Eric Torkomoo was absent. Remote participation was facilitated for attendees via phone at call-in number, 415-655-0001 (Access Code: 160 884 7670) and via Webex link (<https://www.webex.com/jme/zoningboardofappealswebex>).

FINDINGS

The Worcester Zoning Board of Appeals (ZBA), having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 90 Madison Street, Suite 610, Worcester, MA 01608, is the owner and petitioner and of certain land situated at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), in the City of Worcester, Massachusetts, and more particularly described in deeds recorded at the Worcester District Registry of Deeds Book 67585, Page 247.
2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as an RL-7 (Residence, Limited) zoning district.
3. Presently on the premises of 24 Simone Street is a single-family detached dwelling with a detached garage and detached barn.
4. The petitioner seeks to demolish the existing site improvements and construct four semi-detached (duplex) single-family dwellings (total of 8 units), each on their own lot.
5. Each lot is deficient with respect to the minimum lot area dimensional requirement for a semi-detached dwelling in an RL-7 Zone and the applicant seeks a variance for lot area for each of the 8 lots (Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B).

6. The petitioner seeks the following:
 Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B
 Variance: For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).
 Findings of Fact – Variance:

7. Per Article II, Section 6 (A)(3), the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations:

a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner the right to fully utilize the area available and put said property to its highest and best use.

b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet of frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable setbacks requirements can easily be satisfied.

c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an overall density that is not inconsistent with the controls provided in the Zoning Ordinance. There are numerous existing single-family semi-detached housing units in the vicinity, thus the single-family semi-detached unit style proposed is consistent with surrounding property uses and the development character of the area and presents no detriment to the public good. All applicable building setbacks will be complied and applicable off-street parking requirements satisfied.

d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required for the proposed use and amounts to an approximately 6.25% reduction in lot area per lot.

DECISION

At a meeting of the Board on November 14, 2022, and on motion duly made and seconded, it was voted 5-0 by Board members Jordan Berg Powers, Nathan Sabo (Alternate), Anthony Dell'Aera, Shannon Campaniello Sabo (Alternate), and Russell Karhstad to approve the

Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B

Variance:

For relief of 250 SF from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

With the following conditions of approval:

1. Prior to the issuance of a Building Permit provide one (1) to-scale, stamped/sealed original of a final revised site plan-set and architectural plans, and a PDF file of the same, to the Division of Planning & Regulatory Services:

a. Reflect one (1) minimum 3.5" caliper shade street (either to be protected during construction and remain or be planted) on each lot within the front- and exterior-side yard setbacks.

b. Label existing and proposed grades and any proposed stormwater management facilities.

c. Demonstrate zoning compliance with respect to minimum required setbacks on Lots 3 & 4, rotating the proposed structure on Lot 3 to face Valmor Street and structure on Lot 4 to Maranda Street, and reconcile plans accordingly.

d. Provide a revised zoning summary/dimensional table reflecting each lot.

e. Reflect a walkway from the front-door to the driveway.

2. Post-development runoff shall not exceed pre-development runoff levels.

3. No existing drainage infrastructure (e.g. swale) on or abutting the site shall be impacted by construction.

4. Provided that the project is constructed in substantial accordance with the findings of fact and all final revised plans on file with the City of Worcester and in accordance with all applicable governmental codes.

The Board also voted unanimously to approve waivers of the following plan requirements:

1. Distances from adjacent buildings
2. Percentage of the lot covered by the principal and accessory building

Time Limitations: If the activity authorized by a Variance granted by the ZBA is not initiated within one (1) year of the date of grant (one year from date Special Permit is received by the City Clerk) and/or the activity is not completed within two (2) years, then the Variance shall lapse unless the Director of Code Enforcement makes a determination that the failure to complete was for good cause. Per Article II, Section 9, D, 5, of the City of Worcester Zoning Ordinance.

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C, iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and Saturday, and between the hours of 8:00 a.m. and 7:00 p.m. on Sundays. Per Chapter 8 Section 1A (e) (g) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

REMEMINDERS

_____	JORDAN BERG POWERS	DATE _____
_____	ANTHONY DELL'AERA	DATE _____
_____	NATHAN SABO (Alternate)	DATE _____
_____	SHANNON CAMPANELLO (Alternate)	DATE 12/5/2022
_____	RUSSELL KARLSTAD	DATE _____

2022 DEC 5 10:10

ADJOURNED

The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision.

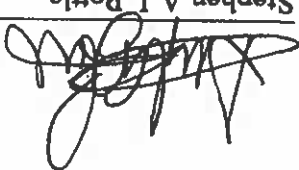
Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk.

The Variance shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by the Variance is litigated, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered.

City of Worcester, MA

February 2, 2023

I certify that twenty days have elapsed after the attached Decision for 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B has been filed with the City Clerk Department as of December 6, 2022 and that no appeal has been filed.



Stephen A.J. Pottle
Deputy City Clerk

ATTEST: WORC. Kathryn A. Toomey, Register

Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.	Relief requested:	
	Setback provided:	
	Setback permitted:	
	Relief requested:	
	Height provided:	
	Height permitted:	
	Relief requested:	
	Area provided:	
	Area permitted:	
	Area permitted:	
Signs		
Relief requested:		
Relief requested:	Zoning Ordinance Article & Section:	
Relief provided:	Relief requested:	
Relief required:	Other Variances	
Relief requested:	Relief requested:	
Parking provided:	Height provided:	Square footage of structure:
Parking required:	Height permitted:	Type of structure:
Off-street Parking/Loading		
Relief requested:	Height	Accessory Structure 5-foot Setback
Relief requested:	Relief requested:	
Frontage provided:	Setback provided:	Setback provided:
Frontage required:	Setback required:	Setback required:
Frontage		
Relief requested:	Relief requested:	Relief requested:
Square footage provided:	Setback provided:	Setback provided:
Square footage required:	Setback required:	Setback required:
Lot Area		
Front Yard Setback	Front Yard Setback	Rear Yard Setback

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406



VARIANCE APPLICATION

LOT 4A

Lot Area		4,000	4,000	Setback required:	Setback required:	Setback required:	Setback required:
Square footage required:		4,000	4,000	Setback required:	Setback required:	Setback required:	Setback required:
Square footage provided:		3,750	3,750	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:		250	250	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Frontage		Side Yard Setback	Side Yard Setback	Frontage required:	Frontage required:	Frontage required:	Frontage required:
Frontage required:		Setback required:	Setback required:	Setback required:	Setback required:	Setback required:	Setback required:
Frontage provided:		Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Off-street Parking/Loading		Height	Height	Height permitted:	Height permitted:	Height permitted:	Height permitted:
Parking required:		Height permitted:	Height permitted:	Height permitted:	Height permitted:	Height permitted:	Height permitted:
Parking provided:		Height provided:	Height provided:	Height provided:	Height provided:	Height provided:	Height provided:
Parking requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Loading required:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Loading provided:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Relief requested:		Zoning Ordinance Article & Section:	Zoning Ordinance Article & Section:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Signs		Requirement:	Requirement:	Requirement:	Requirement:	Requirement:	Requirement:
Area permitted:		Area permitted:	Area permitted:	Area permitted:	Area permitted:	Area permitted:	Area permitted:
Area provided:		Area provided:	Area provided:	Area provided:	Area provided:	Area provided:	Area provided:
Relief requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Height provided:		Height provided:	Height provided:	Height provided:	Height provided:	Height provided:	Height provided:
Relief requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Setback permitted:		Setback permitted:	Setback permitted:	Setback permitted:	Setback permitted:	Setback permitted:	Setback permitted:
Setback provided:		Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:	Setback provided:
Relief requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Other Variances		Other Variances	Other Variances	Other Variances	Other Variances	Other Variances	Other Variances
Relief requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Type of structure:		Type of structure:	Type of structure:	Type of structure:	Type of structure:	Type of structure:	Type of structure:
Square footage of structure:		Square footage of structure:	Square footage of structure:	Square footage of structure:	Square footage of structure:	Square footage of structure:	Square footage of structure:
Relief requested:		Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:	Relief requested:
Front Yard Setback		Front Yard Setback	Front Yard Setback	Front Yard Setback	Front Yard Setback	Front Yard Setback	Front Yard Setback
Rear Yard Setback		Rear Yard Setback	Rear Yard Setback	Rear Yard Setback	Rear Yard Setback	Rear Yard Setback	Rear Yard Setback
Accessory Structure		Accessory Structure	Accessory Structure	Accessory Structure	Accessory Structure	Accessory Structure	Accessory Structure
5-foot Setback		5-foot Setback	5-foot Setback	5-foot Setback	5-foot Setback	5-foot Setback	5-foot Setback
Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.					

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406




VARIANCE APPLICATION

LOT 4B

Lot Area		Square footage required: 4,000	Square footage provided: 3,750	Relief requested: 250	Front Yard Setback	Rear Yard Setback
Frontage		Setback required: Setback	Setback provided: Setback	Relief requested: Relief	Side Yard Setback	Exterior Side Yard Setback
Off-street Parking/Loading		Height permitted: Height	Height provided: Height	Relief requested: Relief	Accessory Structure 5-foot Setback	
Parking required:	Parking provided:	Height permitted:	Height provided:	Relief requested:	Type of structure:	Square footage of structure:
Relief requested:	Parking provided:	Relief requested:	Relief provided:	Relief requested:	Relief requested:	Relief requested:
Loading required:	Relief requested:	Relief requested:	Relief provided:	Relief requested:	Other Variances	
Relief requested:	Relief provided:	Relief requested:	Relief provided:	Relief requested:	Relief requested:	Relief requested:
Signs		Article & Section:	Zoning Ordinance	Requirement:	Area permitted:	Area provided:
Area permitted:	Area provided:	Relief requested:	Relief provided:	Relief requested:	Relief requested:	Relief requested:
Height provided:	Height permitted:	Relief requested:	Relief provided:	Relief requested:	Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.	
Relief requested:	Relief provided:	Relief requested:	Relief provided:	Relief requested:	Relief requested:	Relief requested:
Setback permitted:	Setback provided:	Relief requested:	Relief provided:	Relief requested:	Relief requested:	Relief requested:
Setback requested:	Setback provided:	Relief requested:	Relief provided:	Relief requested:	Relief requested:	Relief requested:

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

VARIANCE APPLICATION



CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

LOT 5A

Lot Area		Square footage required: 4,000	Square footage provided: 3,750	Relief requested: 250	Front Yard Setback	Rear Yard Setback
Frontage		Setback required: Setback provided: Relief requested: Relief provided:	Setback required: Setback provided: Relief requested: Relief provided:	Setback required: Setback provided: Relief requested: Relief provided:	Side Yard Setback	Exterior Side Yard Setback
Off-street Parking/Loading		Height permitted: Height requested:	Type of structure: Square footage of structure:	Height permitted: Height requested:	Accessory Structure 5-foot Setback	
Parking required: Parking provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Loading required: Loading provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Signs		Relief requested: Relief provided:	Zoning Ordinance Article & Section:	Requirement: Provided:	Other Variances	
Area permitted: Area provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Height permitted: Height provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Setback permitted: Setback provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Setback requested: Setback provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Relief requested: Relief provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	
Relief requested: Relief provided:		Relief requested: Relief provided:	Relief requested: Relief provided:	Relief requested: Relief provided:	Other Variances	

Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406



VARIANCE APPLICATION

LOT 6A

Article II, Section 6 A 3

15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed use of the property):

14. The applicant seeks to (Describe what you want to do on the property in as much detail as possible): Demolish existing structures, divide the property into four ANR lots each containing 7,500 square feet of area. Said lots to be further subdivided into eight lots each containing 3,750 square feet of area with the construction of four single family semi-detached structures for a total of eight dwelling units thereon.

13. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use): Existing single family dwelling with detached garage and barn structure.

12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts): RL-7
11. Check if you are an: owner (s) lessee (s) optionee (s) if you are not the owner of the subject property and are a lessee or optionee it is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)

10. Email: annaszeo.fm@gmail.com

9. Telephone: (774) 696-3814

8. Address of Applicant: 90 Madison Street, Suite 610, Worcester, MA 01608

7. NAME OF APPLICANT(S): JAE WORC LLC

6. City of Worcester Assessor's Office Map (List MBL number for the subject property as listed at Assessor's Office)

34 Block 010 Lot 00004

5. Worcester District Registry of Deeds (WDRD) Book(s) 67595, Page(s) 247 (List Book and Page number of deed filed for the subject property as recorded at the WDRD)

4. Address (es) of owner of record is /are 90 Madison Street, Suite 610, Worcester, MA 01608

(The owner of record is the person or entity who owns title to the property as of today's date)

3. OWNER OF RECORD: JAE WORC LLC

2. Is this property known by any other address: No.

(List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).

1. Assessor's ADDRESS OF SUBJECT PROPERTY: 24 Simone Street

16. Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):

Planning Board approval obtained on August 18, 2022 for division of property into four conforming lots. See ANR Plan filed herewith recorded in Worcester District Registry of Deeds Plan Book 966, Plan 25.

17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:

No.

8. List any additional information relevant to the Variance (s):

The land in question has a total of 30,000 square feet of area which represents 93.75 % of the lot area required for the proposed use. In addition the frontage for the lots proposed exceeds the minimum frontage required in every case and the proposed structures to be built thereon will meet all other applicable set back requirements and satisfy the off street parking requirements .

VARIANCE FINDINGS OF FACT

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.


Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner to right to fully utilize the area available and put said property to its highest and best use.

Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet of frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable set back requirements can be easily satisfied.

WHEREFORE, the applicant(s) requests that this Board grant the variance (s) as requested above.

By: 
(Signature of Applicant or Applicant's Agent)
If more than one applicant, all applicants must fill out information.

JAE WOR LLC

(Name of Applicant)

90 Madison Street, Suite 610, Worcester, MA 01608

(Address)

(774) 696-3814

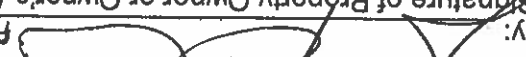
(Contact Phone Number)

annaszeto.fm@gmail.com

(Email)

September 20, 2022

(Date)

By: 
(Signature of Property Owner or Owner's Agent)
If more than one property owner, all owners must fill out information.

JAE WORC INC.

(Name of Property Owner)

90 Madison Street, Suite 610, Worcester, MA 01608

(Address)

(774) 696-3814

(Contact Phone Number)

annaszeto.fm@gmail.com

(Email)

September 20, 2022

(Date)

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:
The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an over all density that is not inconsistent with the controls provided in the Zoning Ordinance. The single family semi-detached unit style proposed is consistent with surrounding property uses and presents no detriment to the public good given that all applicable building set-backs will be complied and applicable off street parking requirements satisfied.
4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:
The requested relief is the minimum required for the proposed use.

(3) If a Corporation:

Full Legal Name JAE Worc Inc

State of Incorporation Massachusetts

Principal Places of Business Massachusetts

Place of Business in Massachusetts 90 Madison Street, Suite 610, Worcester, Ma 01608

Printed Names of Officers of Corporation:

Joseph Charpentier

Owners of Corporation:

Printed Names

Joseph Charpentier

Address

90 Madison St, Suite 610, Worcester, MA 01608

% of stock

100%

Manager

Title

(4) If a Trust:

Name of Trust

Business Address

Printed Names of Trustees:

Address

Printed Names of Beneficiaries:

Address

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Joseph Charpentier

Date:

9/20/22

Date:

Date:

Date:

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Date:

Date:

Date:

Date:

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Printed Name of Applicant:

Signature of Applicant:

Date:

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Certified Abutters List

ADMINISTRATION & FINANCE

CITY OF WORCESTER



Timothy J. McGourthy
CHIEF FINANCIAL OFFICER
Samuel E. Konieczny
CITY ASSESSOR

Edward M. Augustus, Jr.
CITY MANAGER

Total Count: 52

Parcel Address: 24 SIMONE ST
Assessor's Map-Block-Lot(s): 34-010-00004

Owner: JAE WOR LLC
Owner Mailing: 90 MADISON ST
WORCESTER, MA 01602

Petitioner (if other than owner): DONALD J. O'NEIL
Petitioner Mailing Address: 688 PLEASANT ST
WORCESTER, MA 01602

Petitioner Phone: 508-755-5655

Planning: _____
Historical: _____

Zoning: X
Cannabis: _____

Liquor License: _____
Other: _____

ConComm: _____

34-012-001+4	CRANTZ SCOTT + JULIE	0058 COUNTY ST	WORCESTER MA 01604
34-012-001+2	GITAU PENINA W +	0087 VALMOR ST	WORCESTER MA 01604
34-012-001+1	SMITH PATRICIA A	0089 VALMORE ST	WORCESTER MA 01604
34-012-001+5	LOPES JESSICA	0056 COUNTY ST	WORCESTER MA 01604
34-012-001+3	ROBIDOUX RAYMOND R + MARCIA M	0060 COUNTY ST	WORCESTER MA 01604
34-010-00030	SAKHAT NABIL	0013 MARANDA ST	WORCESTER MA 01604
34-010-00004	JAE WOR LLC	0090 MADISON ST SUITE 610	WORCESTER MA 01608
34-010-002-1	GINGRAS MICHAEL T + DONNA M	0079 MARANDA ST	WORCESTER MA 01604
34-010-00044	HALL RICHARD W	0362 HIGH ST	UXBRIDGE MA 01569
34-010-00006	JAE WOR LLC	0090 MADISON ST SUITE 610	WORCESTER MA 01608
34-010-00198	RITCHIE HALEY	0109 SUNDERLAND RD	WORCESTER MA 01604
34-010-00284	KELLYCKER JEFFREY P + ANNE T	0119 SUNDERLAND RD	WORCESTER MA 01604
34-010-0043A	FOSTER JOHN	0115 SUNDERLAND RD	WORCESTER MA 01604
34-010-02R-A	CLAIREMONT EVAN	0084 VALMOR ST	WORCESTER MA 01604
34-010-00008	MEYER MICHELLE E +	0024 VALMOR ST	WORCESTER MA 01604
34-010-00031	ZORGE MICHAEL	0006 CORRINE ST	WORCESTER MA 01604
34-010-00007	SULLIVAN LAWRENCE A + SUZANNE	20 SIMONE ST	WORCESTER MA 01604
34-010-0044A	JEAN ANOULD	0016 MARANDA ST	WORCESTER MA 01604
34-010-00022	WESTALL SAMANTHA	0015 CORRINE ST	WORCESTER MA 01604
34-011-00023	OPACKI ANGELA S + THOMAS M	0022 COUNTY ST	WORCESTER MA 01604

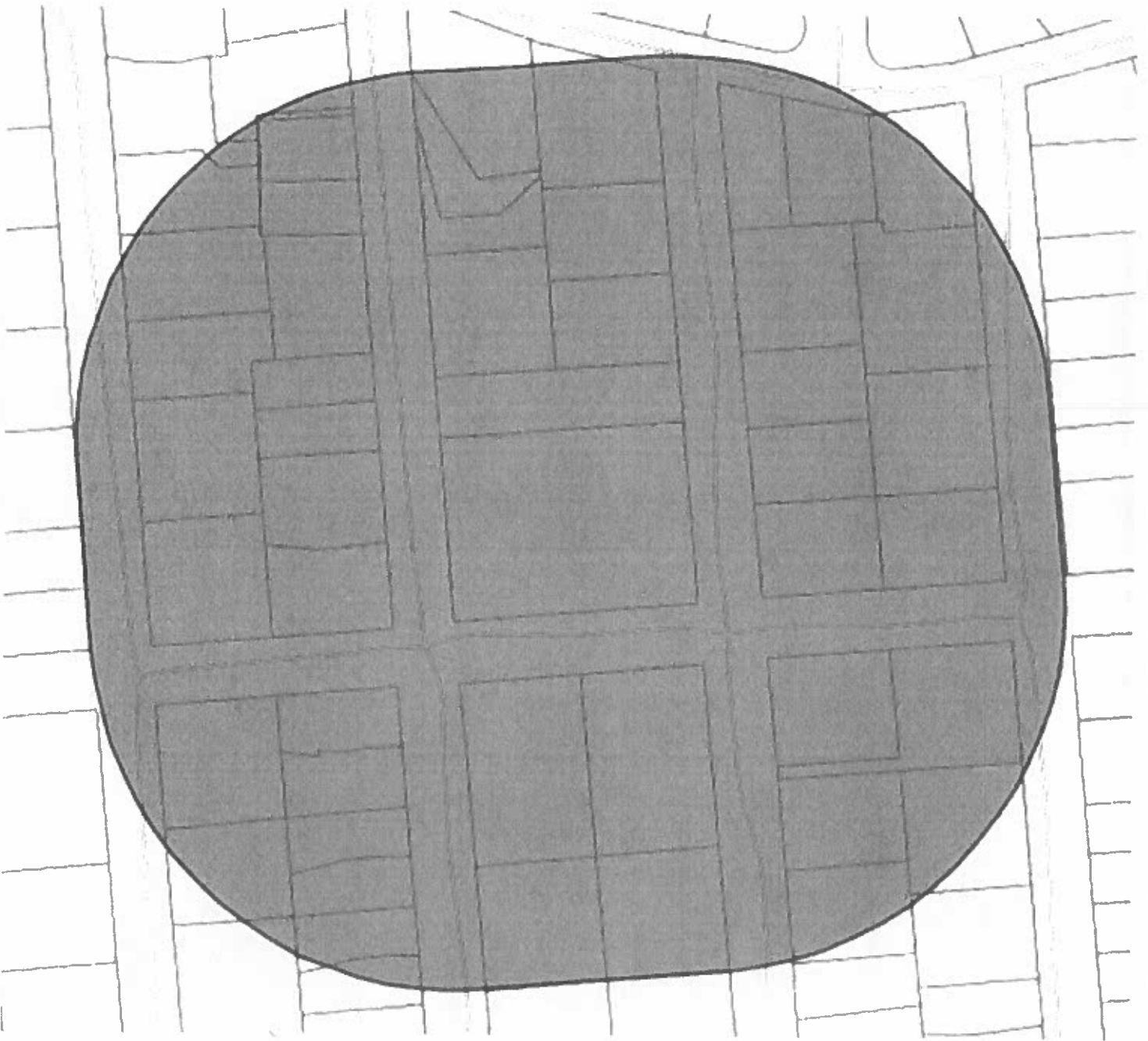
34-010-00001	GIRY MATTHEW + MEGAN C	0080 VALMOR ST	WORCESTER MA 01604
34-010-00043	MAHONEY MICHAEL ANTHONY	0077 CORRINE ST	WORCESTER MA 01604
34-010-0043B	ABDULMASSIH JOSEPH +	0028 MARANDA ST	WORCESTER MA 01604
34-012-0001A	BOZIL LAURETTE + JEAN MICKER +	0091 VALMOR ST	WORCESTER MA 01604
34-011-00027	AUCLAIR DAWN E	0047 VALMOR ST	WORCESTER MA 01604
34-010-00021	SANTIAGO MARGARITA + LUZ A	0017 CORRINE ST	WORCESTER MA 01604
34-010-00033	GRAMPEITRO EDMUND B + BARBARA L	0018 SIMONE ST	WORCESTER MA 01604
34-011-0027A	PINTO ABIGAIL + NICHOLAS	0021 JASMINE DR	WORCESTER MA 01605
34-012-00027	RICHARDS KATHERINE J +	0024 COUNTY ST	WORCESTER MA 01604
34-012-02-3R	TATE SUZAN + KENYON ANGELA	081B VALMOR ST	WORCESTER MA 01604
34-012-00001	SKOCZYLAS BETA M + HENRYK W	0009 FAIRFIELD DR	DUDLEY MA 01571
34-010-00272	COVELLO ANTHONY F	0025 SIMONE ST	WORCESTER MA 01604
34-010-00019	FRECHETTE JOSEPH GERARD	0029 SIMONE ST	WORCESTER MA 01604
34-012-00026	LUCK SEAN	0028 COUNTY ST	WORCESTER MA 01604
34-010-0239B	WEBMS DARIUS A + NUGENT KRISTAL J	0024 MARANDA ST	WORCESTER MA 01604
34-010-00018	COVELLO MICHAEL R +	65 CORRINE ST	WORCESTER MA 01604
34-010-00002	HERNANDEZ FRANCISCO	0125 SUNDERLAND RD APT A	WORCESTER MA 01604
34-010-0239A	BARTLETT TRACY S	0026 MARANDA ST	WORCESTER MA 01604
34-012-00025	DUGGAN DEBRA A	0054 COUNTY ST	WORCESTER MA 01604
34-010-0002A	HAMMOND JULIANNE K	0081 MARANDA ST	WORCESTER MA 01604
34-010-02R-B	CLAIREMONT EVAN + KIMBERLY	0082 VALMOR ST	WORCESTER MA 01604
34-010-0002B	BREEN JEAN	0141 SUNDERLAND RD	WORCESTER MA 01604
34-010-00038	PERRY JOAN F + MICHELE	0078 VALMOR ST	WORCESTER MA 01604
34-011-00022	SWIDLER RONALD A+MARIA M	0018 COUNTY ST	WORCESTER MA 01604
34-011-29-D2	ISUFI AFRIM D	0029 VALMOR ST	WORCESTER MA 01604
34-011-29-D1	ISUFI EMINE	0027 VALMOR ST	WORCESTER MA 01604
34-011-0001A	DASILVA ALESSANDRE + ROSEMAR P	0040 COUNTY ST	WORCESTER MA 01604
34-011-28-E2	LOPEZ AGUSTIN	0033 VALMOR ST	WORCESTER MA 01604
34-011-28-E1	DUNLEVY KEVIN P	339 BROOKS ST	WORCESTER MA 01606
34-012-02-3L	AFABLE JOLYON PHILIP A +	0110 BELLE AVE	BOSTON MA 02132
34-012-00002	BROUGH AUSTIN + FERRARONE CHLOE	0079 VALMOR ST	WORCESTER MA 01604
34-012-002-1	MUJIZI MARVIN S	0077 VALMOR ST	WORCESTER MA 01604

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lots 34-010-00004 as cited above.

Signature

Samuel C. Koenigsberg

07/12/2022
Date



Abutters Map

ADMINISTRATION & FINANCE

CITY OF WORCESTER



Timothy J. McGourthy
CHIEF FINANCIAL OFFICER
Samuel E. Konieczny
CITY ASSESSOR

Edward M. Augustus, Jr.
CITY MANAGER

NEW CONSTRUCTION: PROPOSED DUPLEX

PROJECT LOCATION
70-72 VALMOR STREET
WORCESTER, MA 01604

CLIENT
FOREVER MECHANICAL HVAC/R, INC.
90 MADISON STREET
WORCESTER, MA 01608

ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HIL GENBERG
JHIL.GENBERG@DIXONSALOARCHITECTS.COM
(71) 508.755.0533

LIST OF DRAWINGS

NO.	DATE	DESCRIPTION
1	01/15/2023	CONCEPT PLAN
2	01/15/2023	CONCEPT ELEVATIONS
3	01/15/2023	CONCEPT SECTION
4	01/15/2023	CONCEPT EXTERIOR FINISHES
5	01/15/2023	CONCEPT INTERIOR FINISHES
6	01/15/2023	CONCEPT MECHANICAL
7	01/15/2023	CONCEPT ELECTRICAL
8	01/15/2023	CONCEPT PLUMBING
9	01/15/2023	CONCEPT LANDSCAPE
10	01/15/2023	CONCEPT SITE PLAN
11	01/15/2023	CONCEPT EXTERIOR LIGHTING
12	01/15/2023	CONCEPT INTERIOR LIGHTING
13	01/15/2023	CONCEPT MATERIALS
14	01/15/2023	CONCEPT SYMBOLS
15	01/15/2023	CONCEPT ABBREVIATIONS
16	01/15/2023	CONCEPT LOCUS MAP
17	01/15/2023	CONCEPT TITLESHEET

ARCHITECT'S SEAL

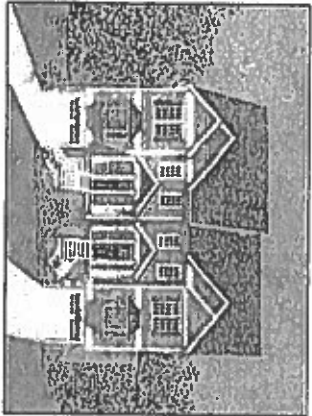
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HIL GENBERG
JHIL.GENBERG@DIXONSALOARCHITECTS.COM
(71) 508.755.0533

ABBREVIATIONS

SYMBOL	DESCRIPTION
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LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS	
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LOCUS MAP



PROJECT INFORMATION

PROJECT TITLE: PROPOSED DUPLEX
70-72 VALMOR STREET
WORCESTER, MA 01604

DATE: 10/5/2023 6:43 AM

SCALE: 1/8" = 1'-0"

SHEET NUMBER: T-1.0

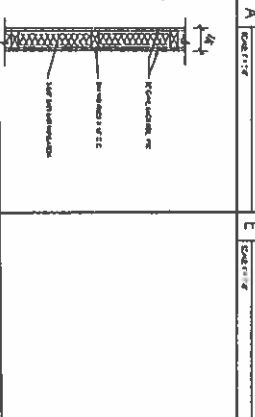
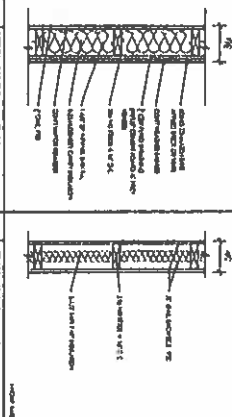
ARCHITECT'S SEAL: [Signature]

GENERAL DEMOLITION NOTES

1. A DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL STRUCTURES, INCLUDING BUT NOT LIMITED TO: FOUNDATIONS, WALLS, ROOFS, CEILING, FLOORS, INTERIORS, EXTERIORS, CURBS, AND DRIVEWAYS.
2. ALL MATERIALS SHALL BE PROPERLY SEPARATED, STORED, AND TRANSPORTED TO THE APPROPRIATE DISPOSAL FACILITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND LIABILITIES FOR THE DEMOLITION PROJECT.
4. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
5. ALL HAZARDOUS MATERIALS SHALL BE IDENTIFIED AND REMOVED BY A LICENSED HAZARDOUS WASTE REMEDIATION CONTRACTOR.
6. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
7. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
8. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
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15. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL MATERIALS SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
3. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
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14. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.
15. ALL MATERIALS TO BE RECYCLED SHALL BE PROPERLY IDENTIFIED AND SEPARATED AT THE SOURCE.



CODE REVIEW

BUREAU OF BUILDING
 DISTRICT OF COLUMBIA
 CITY OF WASHINGTON
 LANDmarks

COMMERCIAL BUILDING
 HISTORIC PRESERVATION
 PLANNING
 SAFETY
 UTILITY

AIR CONDITIONING
 ELECTRICAL
 MECHANICAL
 PLUMBING
 STRUCTURAL



ARCHITECT'S SIGNATURE

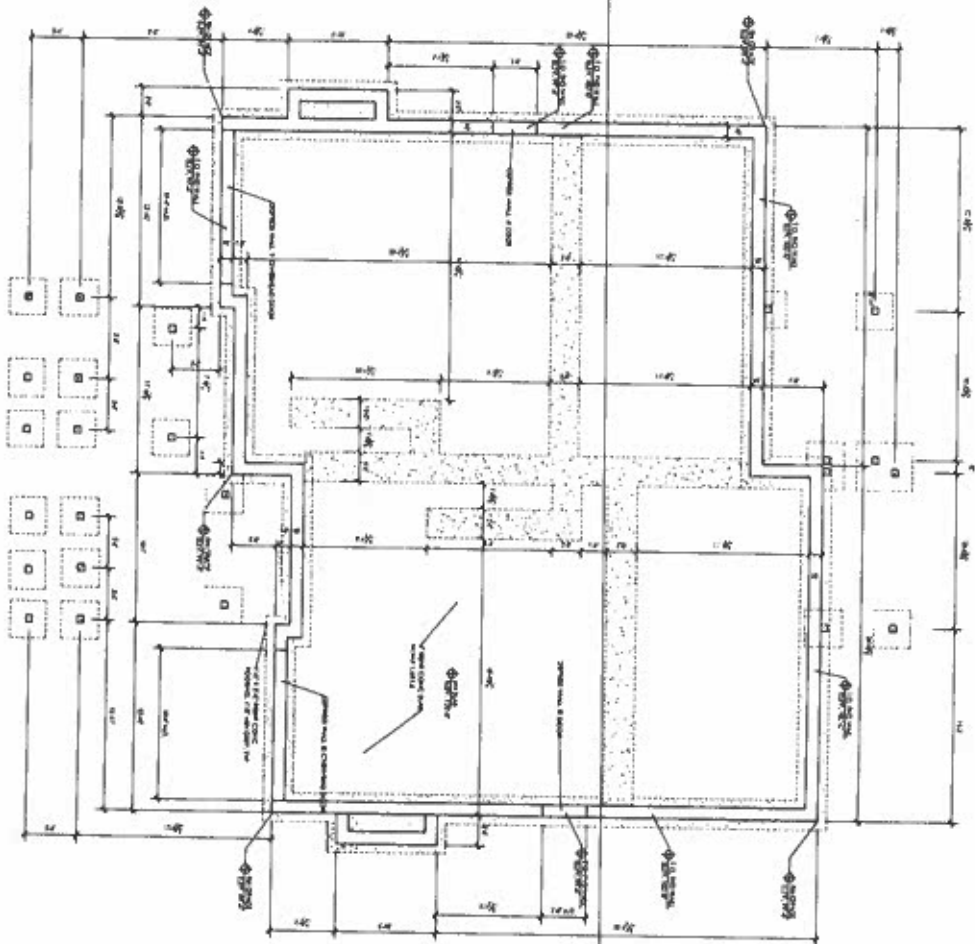
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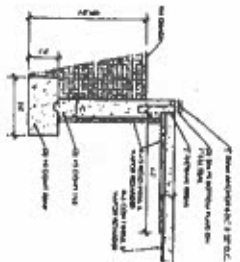
SQUARE
 RECTANGULAR
 CIRCULAR
 OTHER

PROJECT TITLE:
 PROJECT ADDRESS:
 PROJECT CITY:
 PROJECT STATE:
 PROJECT ZIP:

SHEET NUMBER:
 TOTAL SHEETS:



PROPOSED FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



TYPICAL FROST WALL SECTION
SCALE: 1/8" = 1'-0"



TYPICAL RAINCOURED WALL SECTION
SCALE: 1/8" = 1'-0"



DIVON SAILO ARCHITECTS
1000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.DIVONSAILOARCHITECTS.COM

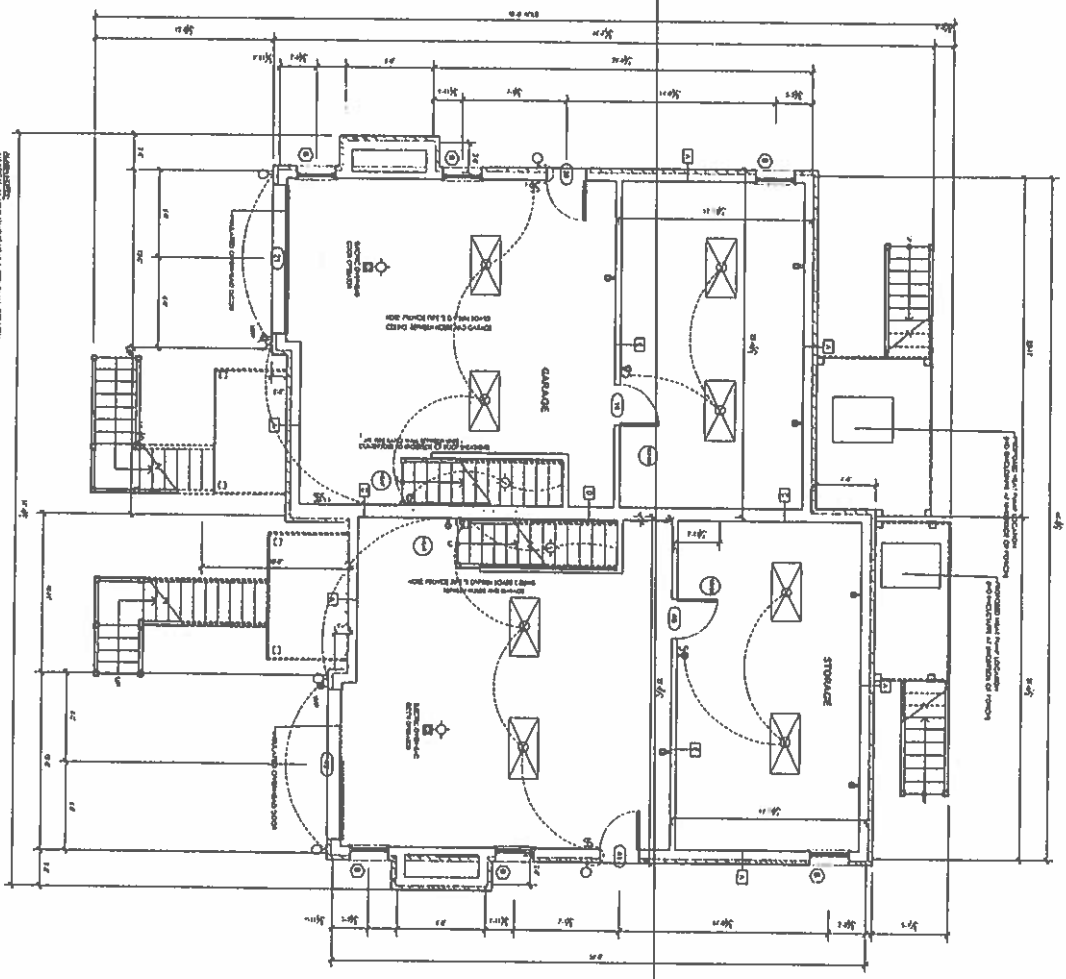
PROJECT: [Handwritten Signature]

DATE: 10/5/2023

SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/5/2023
2	ISSUED FOR CONSTRUCTION	
3	ISSUED FOR RECORD	

PROJECT: PROPOSED DUPLEX
2,434 WALKER STREET
WORKSHEET: FND-0104



NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
 3. ALL FLOORS ARE TO BE FINISHED WITH 4" POLYPROPYLENE FIBER REINFORCED CONCRETE.
 4. ALL CEILING ARE TO BE FINISHED WITH 5/8" GYPSUM BOARD.
 5. ALL DOORS ARE TO BE 2'0" X 6'8" UNLESS NOTED OTHERWISE.
 6. ALL WINDOWS ARE TO BE 2'0" X 4'0" UNLESS NOTED OTHERWISE.
 7. ALL STAIRS ARE TO BE 8" RISE BY 11" RUN UNLESS NOTED OTHERWISE.
 8. ALL STAIRS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD.
 9. ALL STAIRS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD.
 10. ALL STAIRS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD.

PROPOSED BASEMENT PLAN
 SHEET 101-1.2

ARCHITECTS
 DIXON SAID ARCHITECTS
 100 WASHINGTON STREET
 SUITE 200
 BOSTON, MA 02109
 TEL: 617.552.1234
 FAX: 617.552.1235
 WWW.DIXONSAIDARCHITECTS.COM

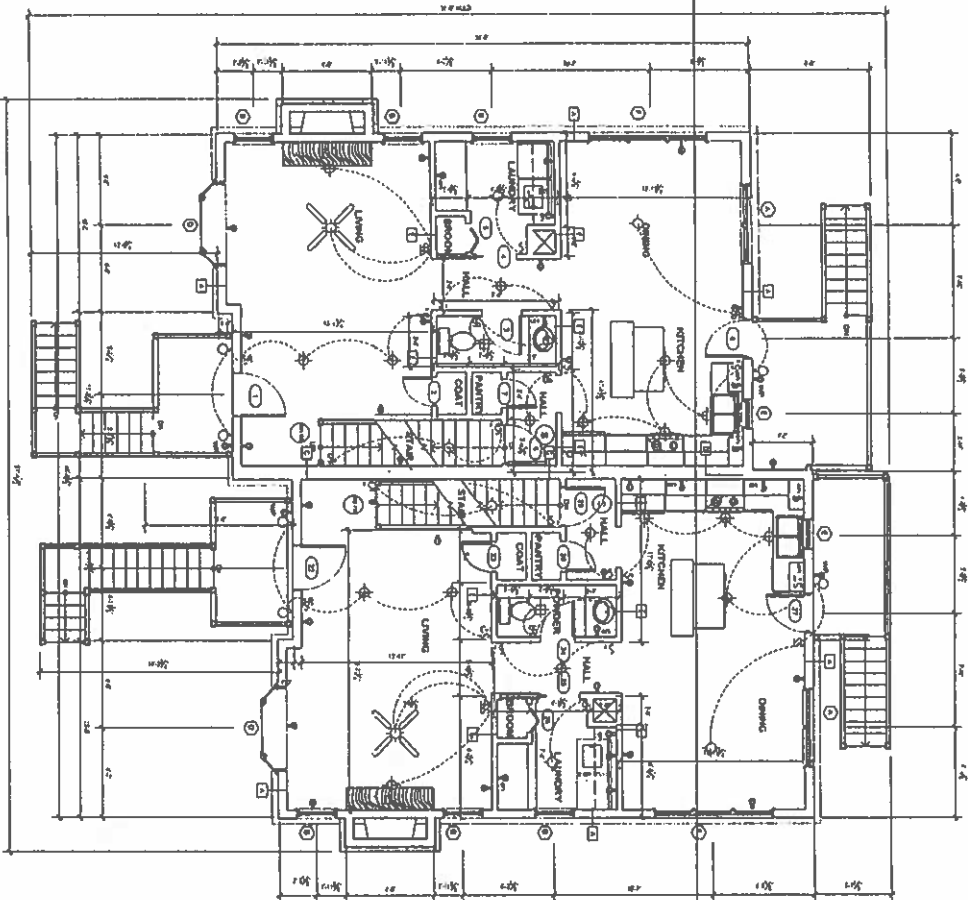
[Handwritten signature]

PROJECT NO.:
 SHEET NO.:
 DATE:
 SCALE:
 DRAWN BY:
 CHECKED BY:

CLIENT INFORMATION:
 PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT CONTACT:

NO.	REVISION DATE	DESCRIPTION
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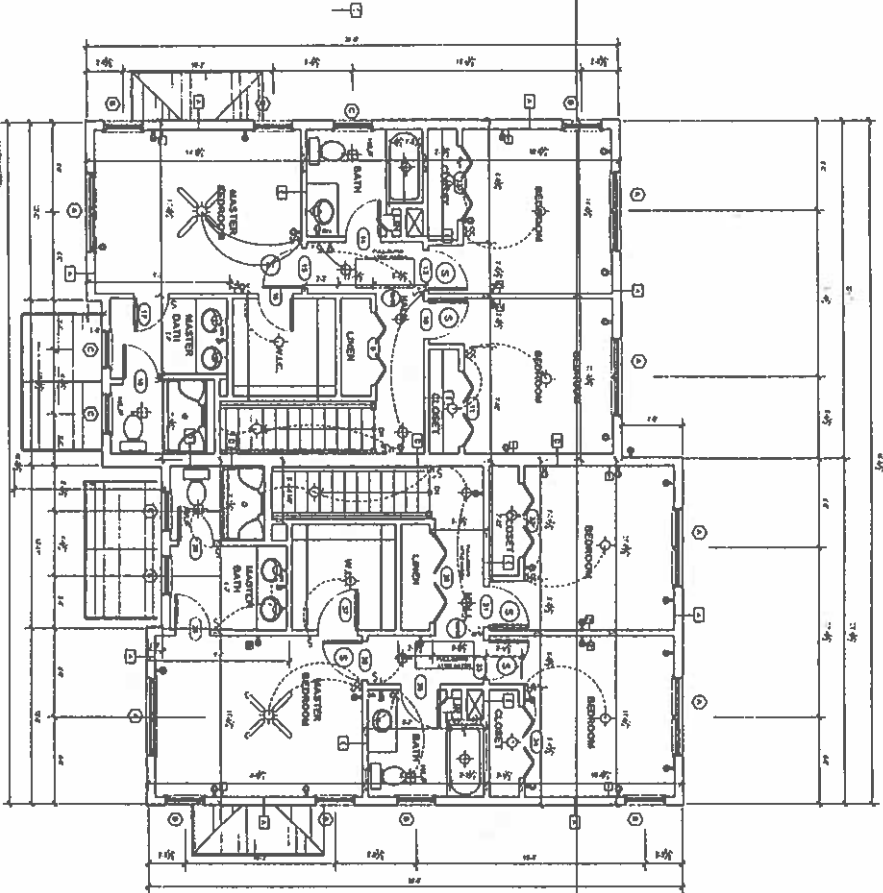
PROJECT INFO:
 PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT CONTACT:



NOT TO SCALE
 ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN FEET AND INCHES
 UNLESS OTHERWISE NOTED
 DIMENSIONS SHOWN IN PARENT PARENTHESIS ARE FOR INFORMATION ONLY
 DIMENSIONS SHOWN IN CHILD PARENTHESIS ARE FOR INFORMATION ONLY
 DIMENSIONS SHOWN IN BRACKET PARENTHESIS ARE FOR INFORMATION ONLY
 DIMENSIONS SHOWN IN DASHED PARENTHESIS ARE FOR INFORMATION ONLY

PROPOSED FIRST FLOOR PLAN

		<p>ARCHITECT'S SEAL</p> <p><i>[Signature]</i></p>
<p>PROJECT NAME:</p> <p>PROJECT NUMBER:</p> <p>DATE:</p> <p>SCALE:</p> <p>PROJECT FILE:</p> <p>7-2-1 VALUOR STREET</p> <p>WORCESTER, MA 01094</p> <p>PROJECT NO.:</p> <p>PROPOSED FIRST FLOOR PLAN</p>		<p>DATE:</p> <p>SCALE:</p> <p>PROJECT FILE:</p> <p>7-2-1 VALUOR STREET</p> <p>WORCESTER, MA 01094</p> <p>PROJECT NO.:</p> <p>PROPOSED FIRST FLOOR PLAN</p>
<p>DATE:</p> <p>SCALE:</p> <p>PROJECT FILE:</p> <p>7-2-1 VALUOR STREET</p> <p>WORCESTER, MA 01094</p> <p>PROJECT NO.:</p> <p>PROPOSED FIRST FLOOR PLAN</p>		<p>DATE:</p> <p>SCALE:</p> <p>PROJECT FILE:</p> <p>7-2-1 VALUOR STREET</p> <p>WORCESTER, MA 01094</p> <p>PROJECT NO.:</p> <p>PROPOSED FIRST FLOOR PLAN</p>
<p>DATE:</p> <p>SCALE:</p> <p>PROJECT FILE:</p> <p>7-2-1 VALUOR STREET</p> <p>WORCESTER, MA 01094</p> <p>PROJECT NO.:</p> <p>PROPOSED FIRST FLOOR PLAN</p>		<p>DATE:</p> <p>SCALE:</p> <p>PROJECT FILE:</p> <p>7-2-1 VALUOR STREET</p> <p>WORCESTER, MA 01094</p> <p>PROJECT NO.:</p> <p>PROPOSED FIRST FLOOR PLAN</p>



ALL DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE UNLESS OTHERWISE NOTED.
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PROPOSED SECOND FLOOR PLAN (17)

SCALE: 1/8" = 1'-0"



Signature
 PROJECT NAME:

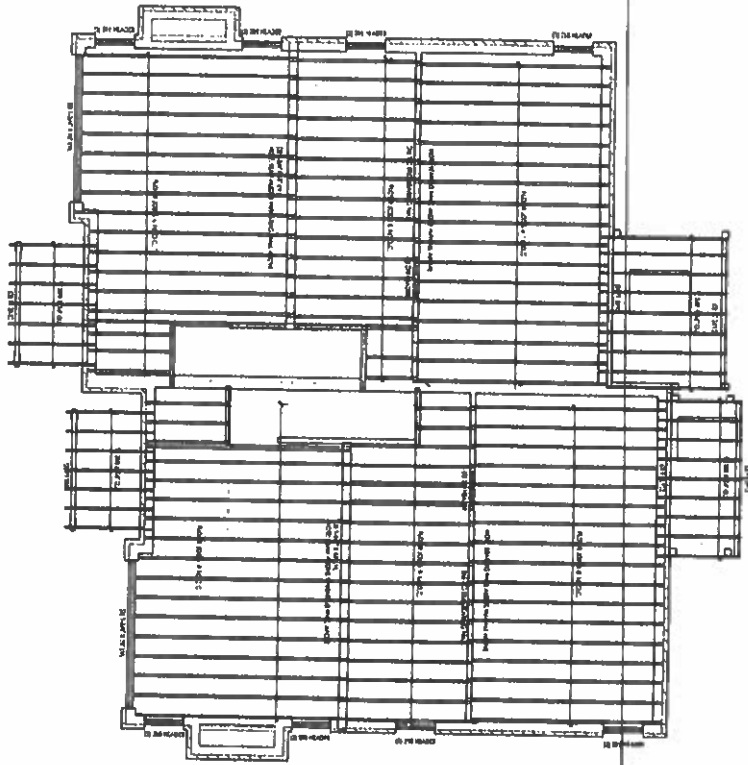
DATE:

PROJECT NAME:

DATE:

NO.	REVISION DATE	DATE	BY	SCALE
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PROJECT NAME:
 PROPOSED SECOND FLOOR PLAN
 PROJECT NO.:
 SHEET NO.:
 PROPOSED SECOND FLOOR PLAN



PROPOSED FIRST FLOOR FRAMING PLAN



Legend

40' 0" Bay Load
 60' 0" Bay Load
 80' 0" Bay Load
 100' 0" Bay Load

1/200 (1st Level) Schedule (Columns, Beams and Girders)

NO.	DESCRIPTION	SECTION	TYPE	SPACING	LOADS	REMARKS
1	Column	12x12	CONCRETE	12x12	40' 0" Bay	...
2	Column	12x12	CONCRETE	12x12	60' 0" Bay	...
3	Column	12x12	CONCRETE	12x12	80' 0" Bay	...
4	Column	12x12	CONCRETE	12x12	100' 0" Bay	...
5	Beam	12x12	CONCRETE	12x12	40' 0" Bay	...
6	Beam	12x12	CONCRETE	12x12	60' 0" Bay	...
7	Beam	12x12	CONCRETE	12x12	80' 0" Bay	...
8	Beam	12x12	CONCRETE	12x12	100' 0" Bay	...
9	Girder	12x12	CONCRETE	12x12	40' 0" Bay	...
10	Girder	12x12	CONCRETE	12x12	60' 0" Bay	...
11	Girder	12x12	CONCRETE	12x12	80' 0" Bay	...
12	Girder	12x12	CONCRETE	12x12	100' 0" Bay	...



ARCHITECT'S SIGNATURE
[Handwritten Signature]

PROJECT NAME
 PROJECT DATE
 GENERAL CONTRACTOR
 ARCHITECT'S OFFICE

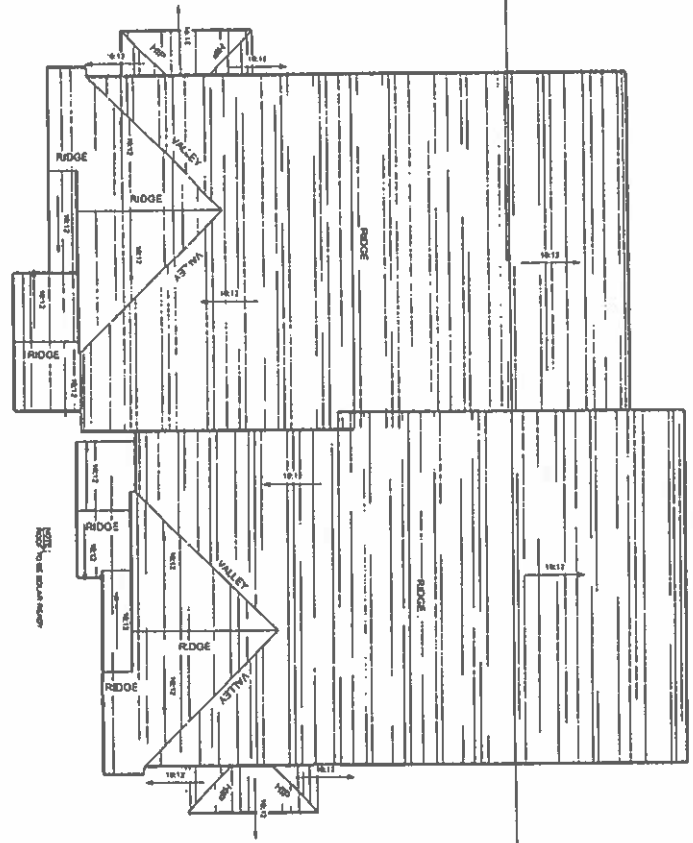
PROJECT NAME
 PROJECT DATE
 GENERAL CONTRACTOR
 ARCHITECT'S OFFICE



DIXON SAID ARCHITECTS
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 1111
 1111
 1111
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 1111

John
Willy

- 1. THE ROOFING SHALL BE AS SHOWN ON THIS PLAN. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT. THE ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 2. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 3. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
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- 5. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 6. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 7. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 8. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 9. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.
- 10. ALL ROOFING SHALL BE INSTALLED OVER A 1/2" GYPSUM BOARD OR OTHER APPROVED UNDERLAYMENT. ALL ROOFING SHALL BE INSTALLED OVER A 2" INSULATION.



PROPOSED ROOF PLAN

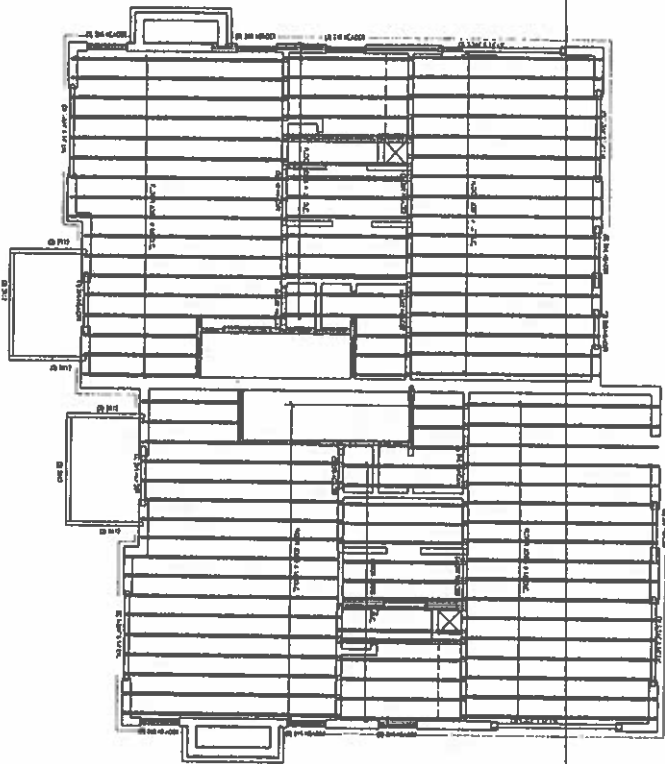


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NO.	REVISION	DATE
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PROJECT TITLE: PROPOSED DUPLEX
 7423 VALUOR STREET
 WOODBRIDGE, MA 01664
 PROJECT NO: 23-001
 DRAWING NO: A-1.3



PROPOSED SECOND FLOOR FRAMING PLAN



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	100	YD	150	15000
2	STEEL	50	TON	200	10000
3	FORMWORK	200	SQ YD	10	2000
4	REINFORCEMENT	100	TON	100	10000
5	PAINT	50	TON	20	1000
6	ROOFING	100	SQ YD	10	1000
7	MECHANICAL	100	HR	10	1000
8	ELECTRICAL	100	HR	10	1000
9	PLUMBING	100	HR	10	1000
10	FOUNDATION	100	HR	10	1000
11	INTERIOR FINISH	100	HR	10	1000
12	EXTERIOR FINISH	100	HR	10	1000
13	LANDSCAPE	100	HR	10	1000
14	UTILITIES	100	HR	10	1000
15	DEMOLITION	100	HR	10	1000
16	CONCRETE	100	YD	150	15000
17	STEEL	50	TON	200	10000
18	FORMWORK	200	SQ YD	10	2000
19	REINFORCEMENT	100	TON	100	10000
20	PAINT	50	TON	20	1000
21	ROOFING	100	SQ YD	10	1000
22	MECHANICAL	100	HR	10	1000
23	ELECTRICAL	100	HR	10	1000
24	PLUMBING	100	HR	10	1000
25	FOUNDATION	100	HR	10	1000
26	INTERIOR FINISH	100	HR	10	1000
27	EXTERIOR FINISH	100	HR	10	1000
28	LANDSCAPE	100	HR	10	1000
29	UTILITIES	100	HR	10	1000
30	DEMOLITION	100	HR	10	1000

ORONO SALO ARCHITECTS

 1000 W. 12th Street, Suite 100

 Anchorage, Alaska 99501

 Phone: (907) 562-1234

 Fax: (907) 562-1235

 Email: info@orosalo.com

Signature: *[Handwritten Signature]*

 Title: *[Handwritten Title]*

GENERAL NOTES

 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE ALASKA BUILDING CODE.

 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL BUILDING DEPARTMENT.

 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.

 5. ALL EXISTING CONDITIONS SHALL BE PRESERVED UNLESS OTHERWISE NOTED.

 6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTIES AND UTILITIES.

 9. ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE.

 10. ALL WASTE SHALL BE REMOVED FROM THE SITE AT ALL TIMES.

PROJECT INFORMATION

 PROJECT NAME: PROPOSED SECOND FLOOR FRAMING

 PROJECT ADDRESS: 7474 VALDUVE STREET, ANCHORAGE, AK 99504

 CLIENT: [Redacted]

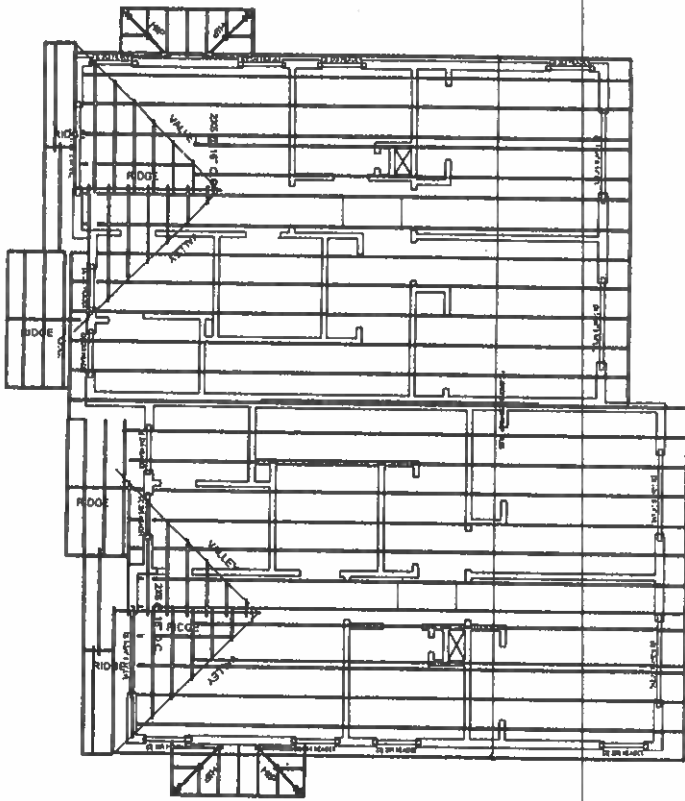
 ARCHITECT: Orono Salo Architects

 DATE: 10/5/2023

 SCALE: AS SHOWN

 SHEET TITLE: PROPOSED SECOND FLOOR FRAMING PLAN

 SHEET NUMBER: A-2.2



PROPOSED ROOF FRAMING PLAN



LAND USE ZONING REGULATIONS

Zone	Permitted	Conditional	Prohibited
Residential Single-Family	Single-Family Detached	None	Multi-Family, Commercial, Industrial
Residential Medium-Density	Single-Family Detached, Townhouses	None	Multi-Family, Commercial, Industrial
Residential High-Density	Multi-Family, Townhouses	None	Single-Family Detached, Commercial, Industrial
Commercial	Commercial, Office, Retail	None	Residential, Industrial
Industrial	Industrial	None	Commercial, Residential

GENERAL NOTES

1. ALL ROOF FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ROOF TRUSSES SHALL BE SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
3. ROOF SHEATHING SHALL BE 5/8" THICK OSB OR EQUIVALENT.
4. ALL ROOF JOINTS SHALL BE PROPERLY FLASHED AND WATERPROOFED.
5. REFER TO THE ARCHITECT'S GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

PROJECT STATUS: *Approved*

DATE: 10/5/2023

PROJECT: 1234567890

CLIENT: ABC COMPANY

ARCHITECT: DUNN SAUNDERS ARCHITECTS

1000 MAIN STREET, SUITE 100, WASHINGTON, DC 20001

PH: 202-555-1234

WWW.DUNNSAUNDERSARCHITECTS.COM

CONTRACT NO. 1234567890

PROJECT NO. 1234567890

DATE: 10/5/2023

PROJECT: 1234567890

CLIENT: ABC COMPANY

ARCHITECT: DUNN SAUNDERS ARCHITECTS

1000 MAIN STREET, SUITE 100, WASHINGTON, DC 20001

PH: 202-555-1234

WWW.DUNNSAUNDERSARCHITECTS.COM

PROJECT STATUS: *Approved*

DATE: 10/5/2023

PROJECT: 1234567890

CLIENT: ABC COMPANY

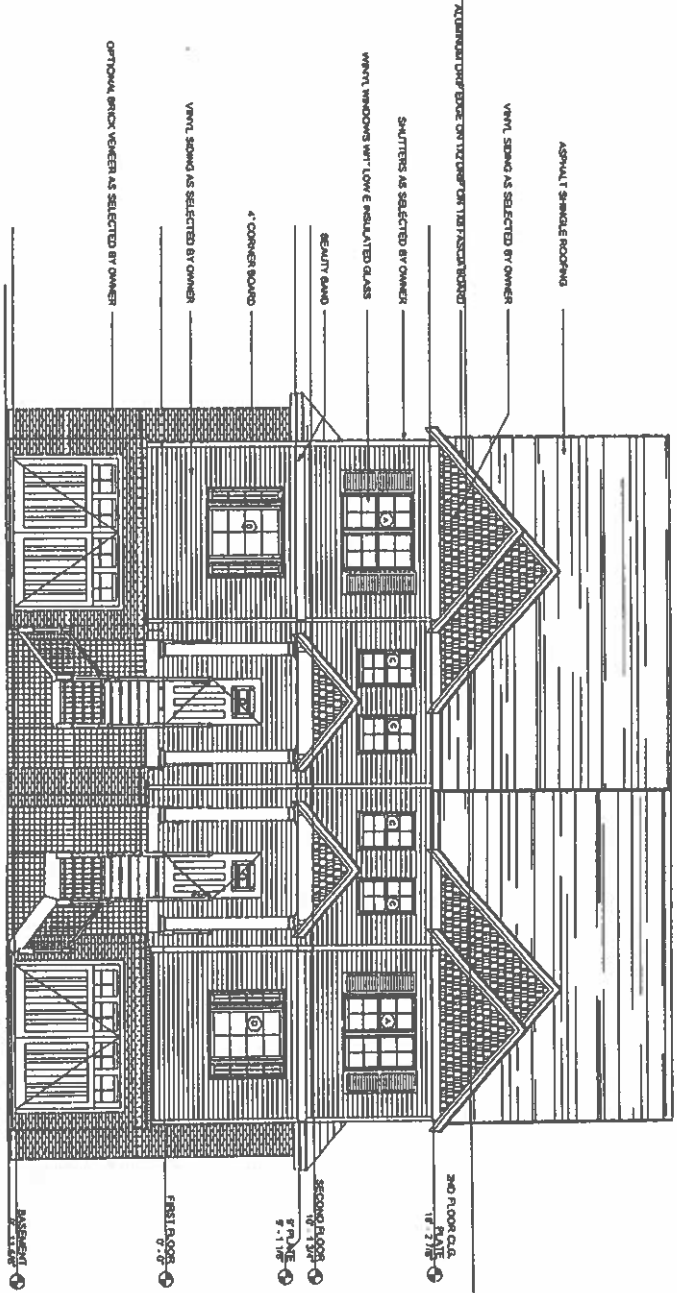
ARCHITECT: DUNN SAUNDERS ARCHITECTS

1000 MAIN STREET, SUITE 100, WASHINGTON, DC 20001

PH: 202-555-1234

WWW.DUNNSAUNDERSARCHITECTS.COM

A-2.3



PROPOSED FRONT BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

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A-3.1

ARCHITECT'S SEAL

DRONE & LEO ARCHITECTS

100 STATE STREET, SUITE 200
WONDER, MA 01890
TEL: 978-234-1111
WWW.DRONEANDLEO.COM

DATE: 10/5/23
SCALE: AS SHOWN
PROJECT: 24-01890-001

PROJECT NAME: PROPOSED FRONT BUILDING ELEVATION

PROJECT LOCATION: 74-76 VALUOR STREET, WONDER, MA 01890

DATE: 10/5/23

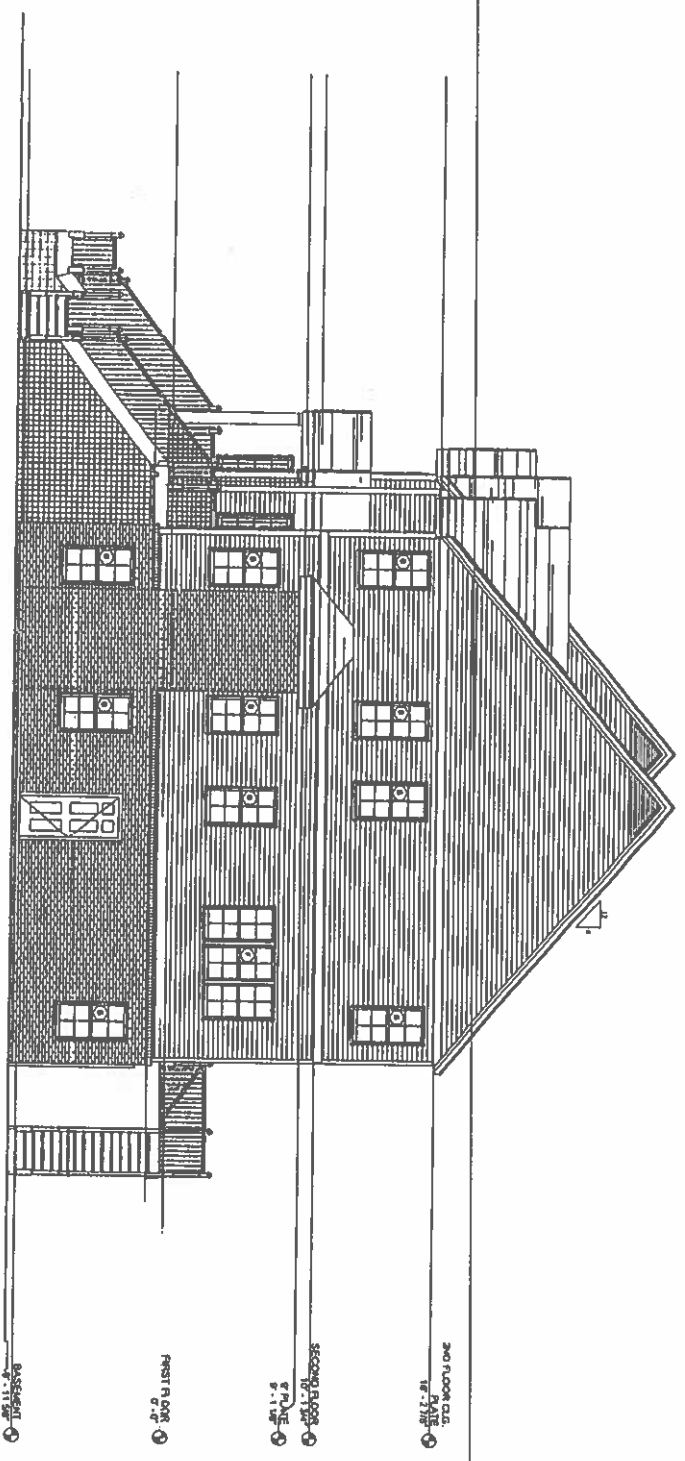
SCALE: AS SHOWN

PROJECT: 24-01890-001

PROJECT NAME: PROPOSED FRONT BUILDING ELEVATION

PROJECT LOCATION: 74-76 VALUOR STREET, WONDER, MA 01890

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PROPOSED RIGHT SIDE BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

ARCHITECTS SEAL

DARON SALO
ARCHITECTS, INC.
1000 STATE STREET
SUITE 200
WORCESTER, MA 01609
TEL: 508-853-1111
WWW.DARONSALO.COM

Daron Salo

John Kelly

PROJECT NAME: _____

PROJECT NUMBER: _____

DATE: _____

SCALE: _____

PROJECT ADDRESS: _____

PROJECT CITY: _____

PROJECT STATE: _____

PROJECT ZIP: _____

DATE: _____

SCALE: _____

PROJECT ADDRESS: _____

PROJECT CITY: _____

PROJECT STATE: _____

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DATE: _____

SCALE: _____

PROJECT ADDRESS: _____

PROJECT CITY: _____

PROJECT STATE: _____

PROJECT ZIP: _____

DATE: _____

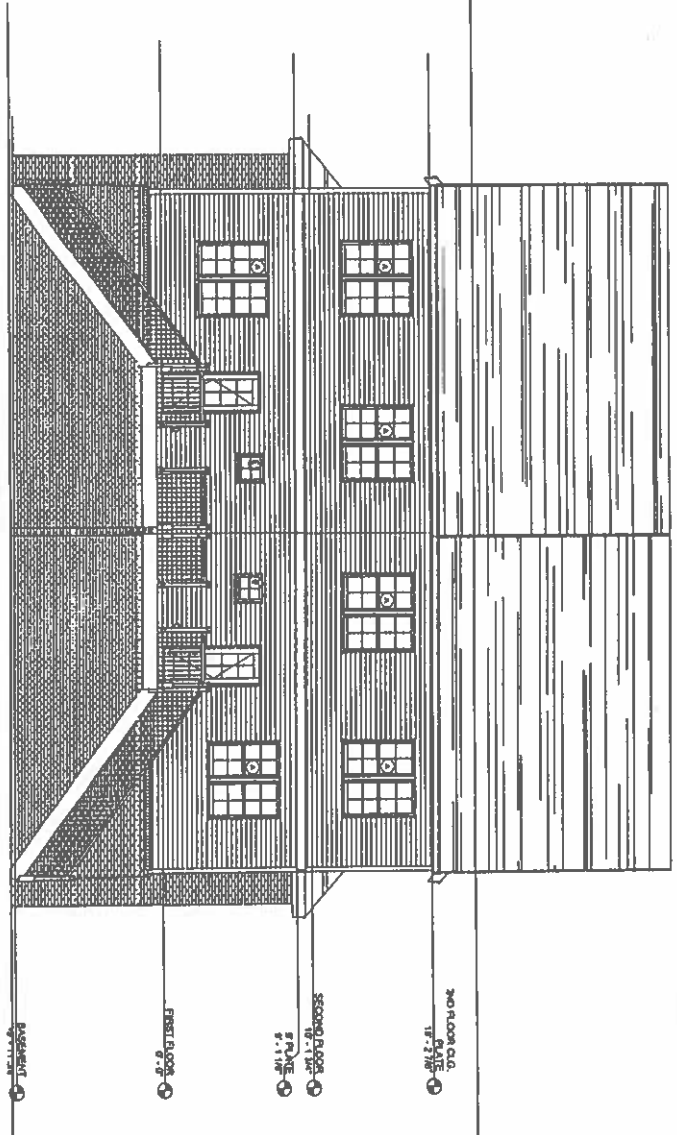
SCALE: _____

PROJECT ADDRESS: _____

PROJECT CITY: _____

PROJECT STATE: _____

PROJECT ZIP: _____



PROPOSED REAR BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

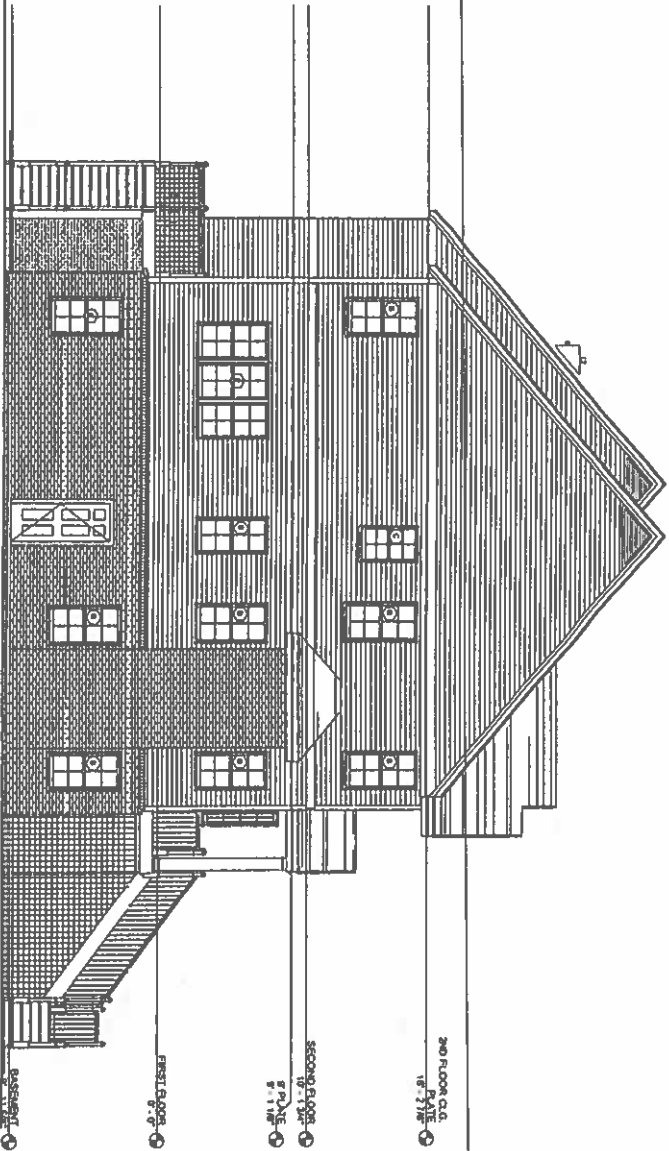
PROJECT NAME:
PROJECT NUMBER:
ARCHITECT'S NAME:
DIRON SAITO ARCHITECTS
100 STATE STREET, SUITE 200
WILMINGTON, MA 01890
TEL: 617.251.1111
WWW.DIRONSAITO.COM

[Handwritten signature]

PROJECT STATUS:
GENERAL INFORMATION:

1	SCHEDULE	DATE
2	GENERAL NOTES	DATE
3	SECTION CUTS	DATE
4	FINISH SCHEDULE	DATE
5	DETAILS	DATE

PROJECT NAME:
PROJECT NUMBER:
ARCHITECT'S NAME:
DIRON SAITO ARCHITECTS
100 STATE STREET, SUITE 200
WILMINGTON, MA 01890
TEL: 617.251.1111
WWW.DIRONSAITO.COM



PROPOSED LEFT SIDE BUILDING ELEVATION

Scale: 1/4" = 1'-0"

ADVISOR: 
 ARCHITECTS
 122 MAIN STREET, SUITE 200
 WILMINGTON, MA 01897
 TEL: 617.252.8800 FAX: 617.252.8801
 WWW.DIXON-SALVO.COM

Handwritten signature

PROJECT: _____

PROJECT STAMP: _____

GENERAL INFORMATION: _____

<input type="checkbox"/>	IDEALISTIC	NO
<input type="checkbox"/>	IDEAL DEVELOPMENT	NO
<input type="checkbox"/>	FINAL	NO
<input type="checkbox"/>	CONSTRUCTION	NO
<input type="checkbox"/>	GENERAL CONDITIONS	NO

1	FOUNDATION	
2	FRAMING	
3	MECHANICAL	
4	ELECTRICAL	
5	PLUMBING	
6	PAINT	
7	FINISHES	
8	LANDSCAPE	

PROJECT: _____
 PROJECT OWNER: _____
 PROJECT ADDRESS: _____
 PROJECT CITY: _____
 PROJECT STATE: _____
 PROJECT ZIP: _____

SHEET NUMBER: **A-3.4**



ARCHITECTS

[Handwritten signature]

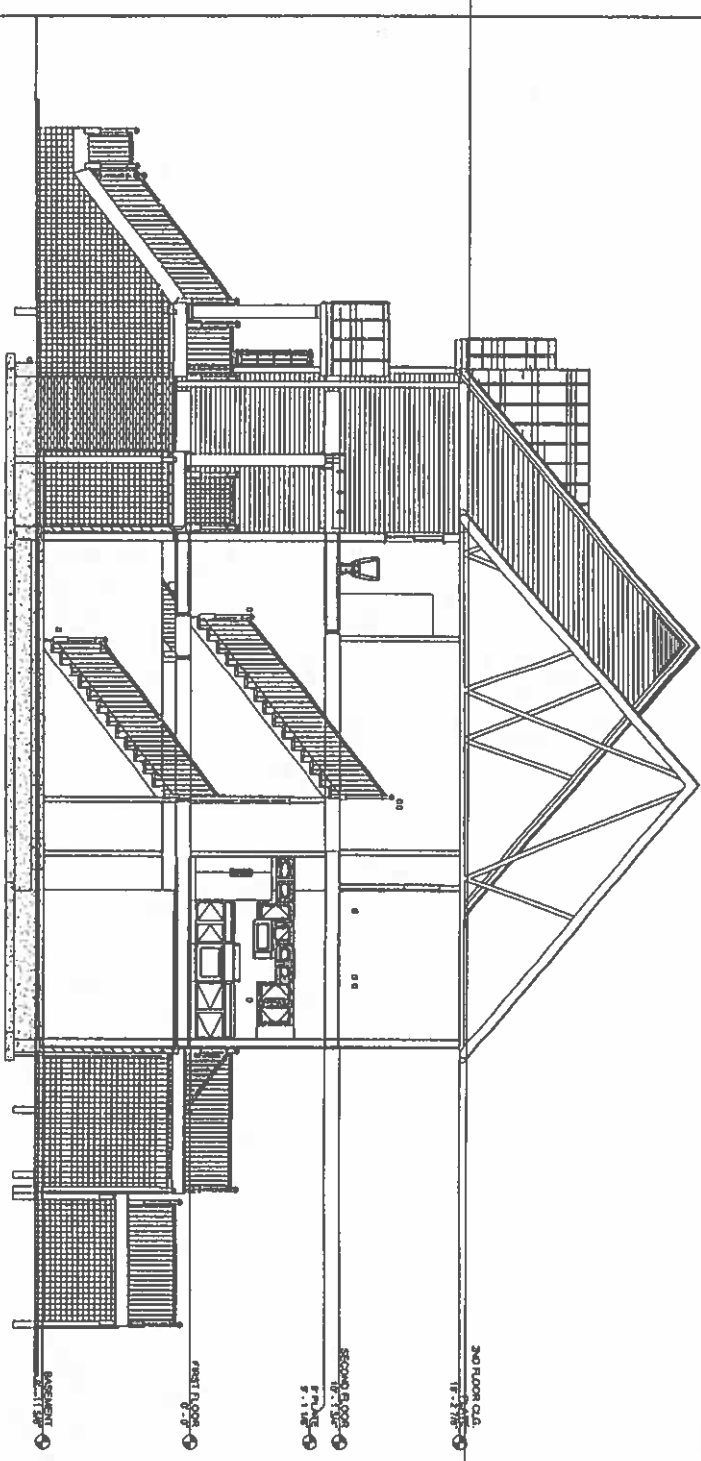
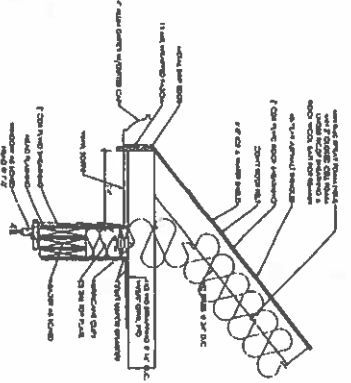
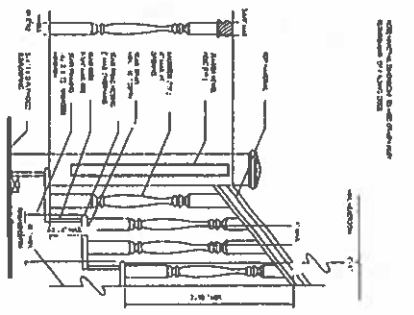
PROJECT NAME
 PROJECT NUMBER
 PROJECT ADDRESS
 PROJECT CITY

PROJECT STATUS

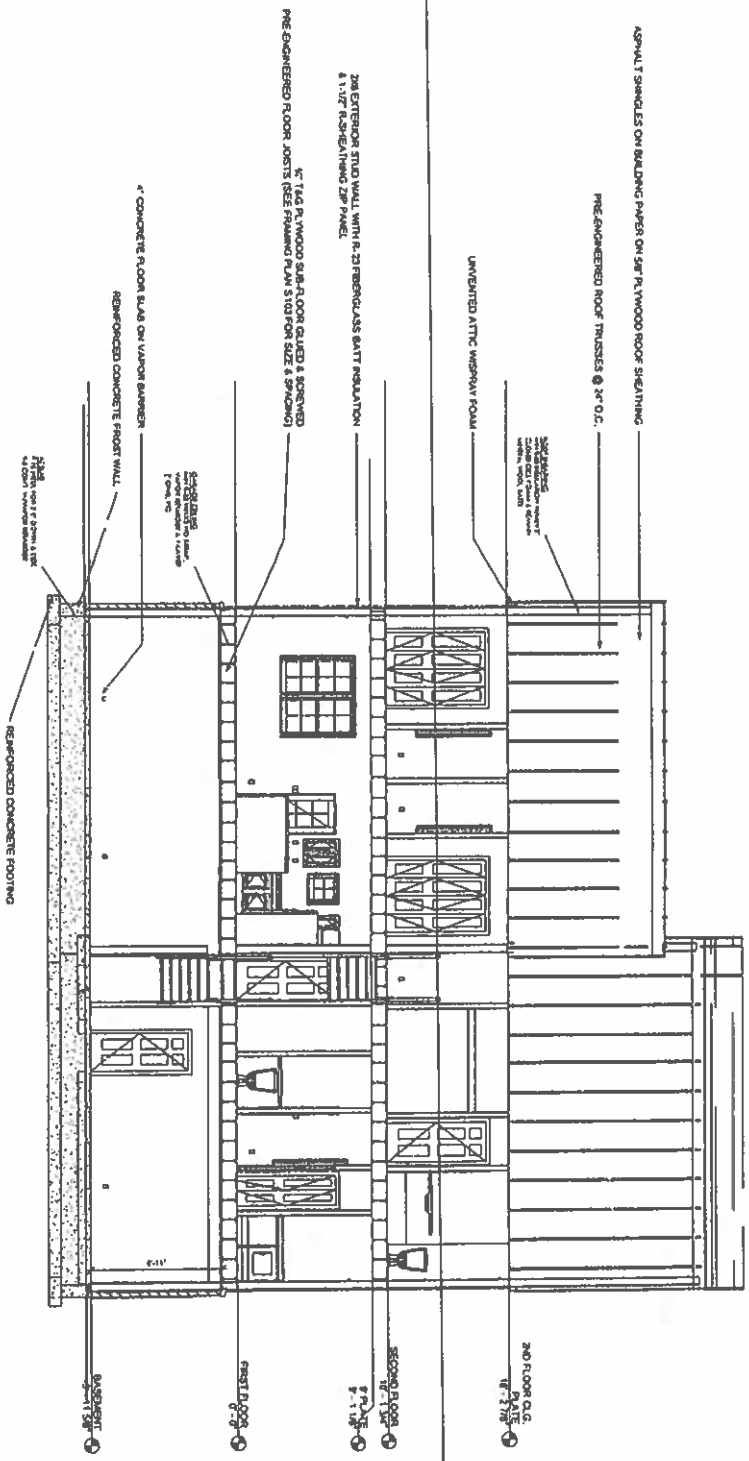
DESIGN INFORMATION

1	CONCEPT	N/A
2	SCHEMATIC	N/A
3	DESIGN DEVELOPMENT	N/A
4	CONSTRUCTION	N/A
5	RENDERING	N/A
6	CONSTRUCTION	N/A
7	RENDERING	N/A
8	CONSTRUCTION	N/A
9	RENDERING	N/A
10	CONSTRUCTION	N/A
11	RENDERING	N/A
12	CONSTRUCTION	N/A
13	RENDERING	N/A
14	CONSTRUCTION	N/A
15	RENDERING	N/A
16	CONSTRUCTION	N/A
17	RENDERING	N/A
18	CONSTRUCTION	N/A
19	RENDERING	N/A
20	CONSTRUCTION	N/A

DATE: 10/5/2023
 SCALE: 1/8" = 1'-0"
 PROJECT: MONROE BUILDING SECTION
 PROJECT TITLE: PROPOSED DUPUIS WING CENTER, N.A. DISTRICT
 SHEET TITLE: MONROE BUILDING SECTION
 SHEET NUMBER: A-4.1



10/5/2023 6:43 AM



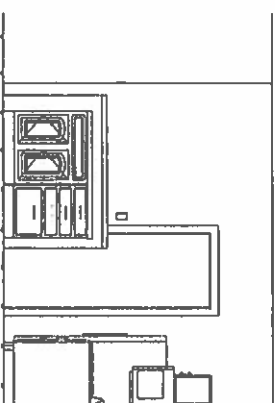
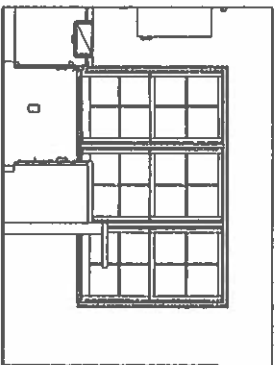
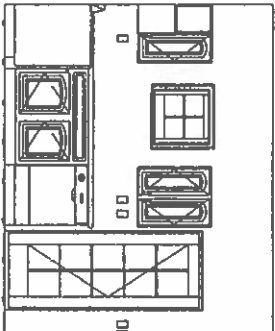
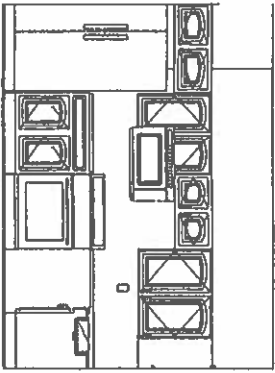
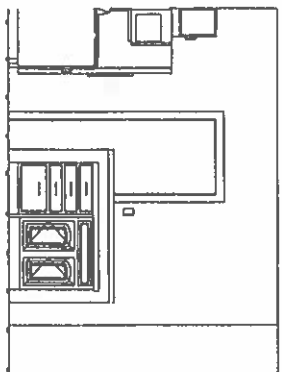
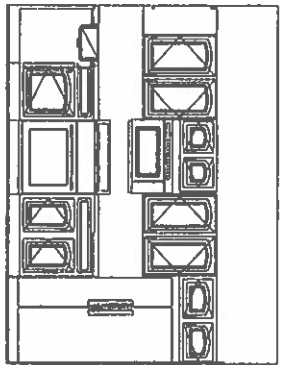
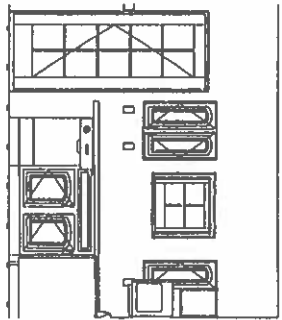
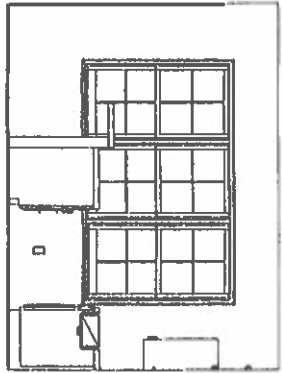
PROPOSED BUILDING SECTION
 2023.10.05

ARCHITECTS
 DIXON SALTO ARCHITECTS
 100 STATE STREET, SUITE 200
 BOSTON, MA 02109
 TEL: 617.552.1234
 FAX: 617.552.1235
 WWW.DIXONSALTOARCHITECTS.COM

Handwritten signature and initials

DATE	10/5/2023	DESCRIPTION	ISSUE
SCALE	AS SHOWN		
PROJECT	PROJECT TITLE		
OWNER	PROJECT ADDRESS		
DESIGNER	PROJECT ARCHITECT		
DATE	10/5/2023	DESCRIPTION	ISSUE
SCALE	AS SHOWN		
PROJECT	PROJECT TITLE		
OWNER	PROJECT ADDRESS		
DESIGNER	PROJECT ARCHITECT		

A-4.2



PROPOSED KITCHEN INTERIOR ELEVATIONS



PROFESIONAL ARCHITECTS
OJON SANO ARCHITECTS
 11300 15th Street, Suite 100
 San Diego, CA 92161
 Tel: 619.594.8888
 Fax: 619.594.8889
 www.ojonsano.com

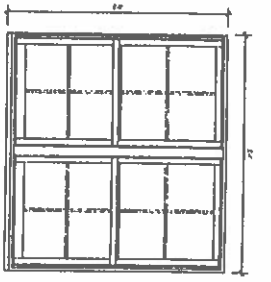
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PROJECTS Stamp

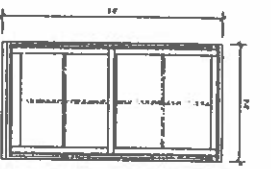
GENERAL REQUIREMENTS

NO SCALE
 FOR INFORMATION ONLY
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION

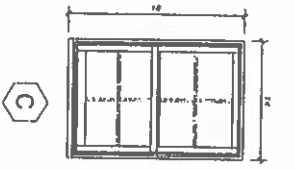
DATE	10/05/2023
SCALE	AS SHOWN
PROJECT	PROPOSED DUPLEX
CLIENT	7411 VALMON STREET
	WINDSOR, CA 91794
	PROJECT NO. 23-0104
	PROPOSED INTERIOR ELEVATIONS



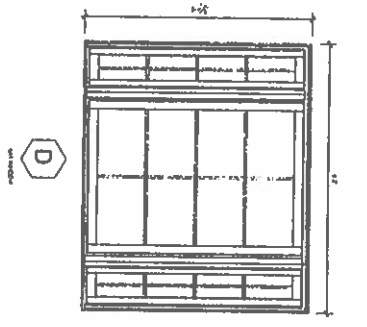
A



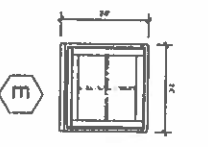
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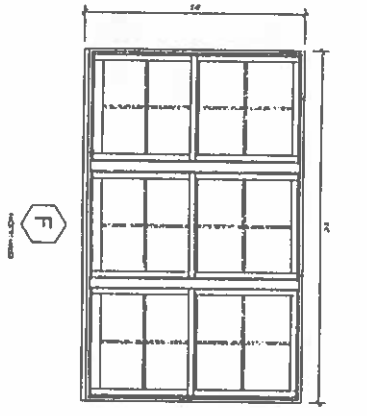
C



D



E



F

PROPOSED WINDOW TYPES

ARCHITECT'S STAMP



DIXON SALO ARCHITECTS
 15 HOWLAND STREET, SUITE 200
 WASHINGTON, MA 01890
 TEL: 978-234-1111 FAX: 978-234-1112
 WWW.DIXONSALO.COM

[Signature]

ARCHITECT'S STAMP

CUSTOMER INFORMATION

SCHEDULE
 PERIOD OF INSTALLATION
 PERIOD OF REMEDIATION
 COMMUNICATION
 SERVICE CONDITIONS

1	DATE	10/5/2023
2	SCALE	AS SHOWN
3	PROJECT	PROJECT TITLE
4	OWNER	7223 WALTON STREET WORCHESTER, MA 01890

1. SHEET TITLE: PROPOSED WINDOW TYPES

SHEET NUMBER

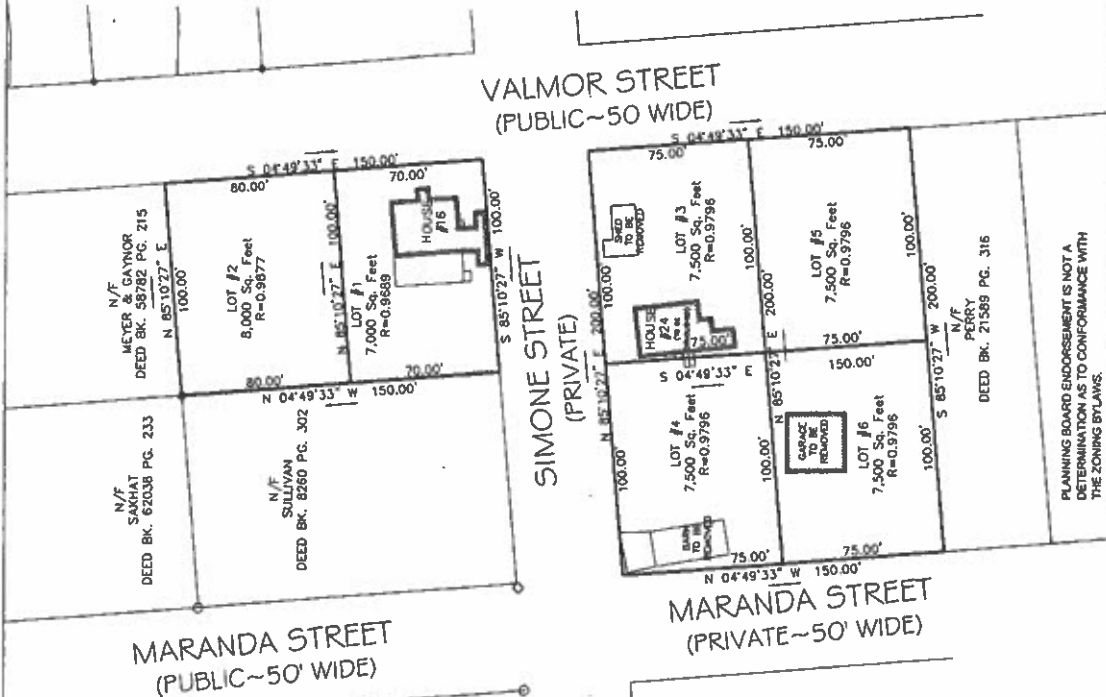
A-5.2

WORCESTER DISTRICT REGISTRY
OF DEEDS-WORCESTER, MA
PLAN BOOK 266 PLAN 25
Received 8/31/22
Sheet 1 of 1
Fee \$ 105
ATTORNEY Kathleen A. Sweeney
Register



LEGEND
These standard symbols will be found in the drawing.

- IRON ROD
- ⊙ DRILL HOLE FOUND
- IRON PIPE FOUND
- ◇ STONE BOUND FOUND



ZONING DATA:
RL-7
LOT AREA = 7,000 S.F.
LOT FRONTAGE = 65'
FRONT YARD SETBACK = 20'
SIDE YARD SETBACK = 8'
REAR YARD SETBACK = 20'

PLAN REFERENCE:
PLAN BOOK 22 PLAN 20
PLAN BOOK 34 PLAN 10
PLAN BOOK 544 PLAN 65
PLAN BOOK 638 PLAN 47
PLAN BOOK 690 PLAN 111
PLAN BOOK 982 PLAN 115

OWNER OF RECORD:
JAE WOR, LLC
90 MADISON STREET, SUITE 610,
WORCESTER, MA
DEED BOOK 67595 PAGE 243
ASSESSORS MAP 34 BLOCK 10 LOT 6

LOCATION:
SIMONE STREET, VALMOR STREET,
AND MARANDA STREET
WORCESTER, MA

PLAN OF PROPERTY SURVEYED FOR
JAE WOR, LLC
24 SIMONE STREET &
16 VALMOR STREET
WORCESTER, MASSACHUSETTS

DATE:	CHECK:	CALC:	FIELD:	N.B.#	PLAN:
8/31/22	K.J.J.	K.J.J.	CSML	34402	22-324
0	40'	40'	80'	120'	120'

SCALE: 1 INCH = 40 FEET

JARVIS LAND SURVEY, INC

29 Grafton Circle
Shrewsbury, MA 01545
Tel. (508) 842-9087 - Fax. (508) 842-0661 8-11-2022



THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS AND MAPS OF THE COMMONWEALTH OF MASSACHUSETTS AND IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS. THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTER OF DEEDS AND IS NOT A CERTIFICATION OF THE OWNERSHIP OF THE LAND SHOWN HEREON.

Approval under the subdivision control law not required.
Planning Board of WORCESTER.

DATE 8/16/22
[Signature]



PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING BYLAWS.

PLAN SHOWING PROPOSED DUPLEX

**JAE WOR, LLC
PREPARED FOR
LOT 3 SIMONE STREET
WORCESTER, MASSACHUSETTS**

**SEPTEMBER 14, 2022
SCALE: 1 INCH = 30 FEET**

*** THE SURVEYOR RETAINS COPYRIGHT TO THE PLAN OF SURVEY, AND RE-USE OF THIS PLAN IS NOT ALLOWED WITHOUT PERMISSION FROM THE SURVEYOR.**

**JARVIS LAND SURVEY, INC
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
TEL. (508) 842-8087
FAX. (508) 842-0661
KEVIN@JARVISLANDSURVEY.COM**

1. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE.

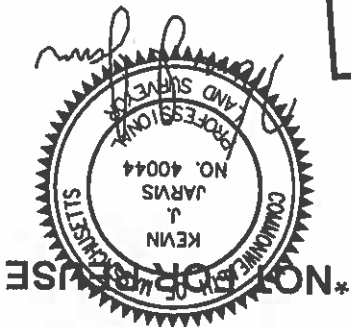
2. THIS PLAN HAS NOT BEEN PREPARED FOR RECORDING PURPOSES.

3. THE LICENSED MATERIAL CONTAINS VALUABLE PROPRIETARY INFORMATION BELONGING EXCLUSIVELY TO JARVIS LAND SURVEY, INC. THE LICENSED MATERIAL AND THE INFORMATION CONTAINED THEREON ARE COPYRIGHTED INSTRUMENTS OF PROFESSIONAL SERVICES AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PROJECT OTHER THAN THAT FOR WHICH THEY WERE CREATED, WITHOUT THE EXPRESS WRITTEN CONSENT OF JARVIS LAND SURVEY, INC. YOU AGREE NEVER TO REMOVE ANY NOTICES OF COPYRIGHT, NOR TO REPRODUCE OR MODIFY THE LICENSED MATERIAL.

* **NOT FOR RE-USE**

9-14-2022

**ASSESSORS MAP 34
BLOCK 10 LOT 4**



**SIMONE STREET
(PRIVATE)**

N 85°10'27" E 100.00'

S 04°49'33" E

75.00'

27.0'

46.0'

20.0'

27.0'

75.00'

N 04°49'33" W

NAD83

S 85°10'27" W

ZONING DATA:

Single Family 1.5m-dw-ct-1hr2

RL-7
LOT AREA = 9,000 S.F.
LOT FRONTAGE = 66.70
FRONT YARD SETBACK = 20'
SIDE YARD SETBACK = 8'
REAR YARD SETBACK = 20'

**VALMOR STREET
(PUBLIC ~ 50 WIDE)**

22-324

PLAN SHOWING PROPOSED DUPLEX

**JAE WOR, LLC
PREPARED FOR
LOT 4 SIMONE STREET
WORCESTER, MASSACHUSETTS**

**SEPTEMBER 14, 2022
SCALE: 1 INCH = 30 FEET**

**JARVIS LAND SURVEY, INC
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
TEL. (508) 842-8087
FAX. (508) 842-0661
KEVIN@JARVISLANDSURVEY.COM**

*** THE SURVEYOR RETAINS COPYRIGHT TO THE PLAN OF SURVEY, AND RE-USE OF THIS PLAN IS NOT ALLOWED WITHOUT PERMISSION FROM THE SURVEYOR.**

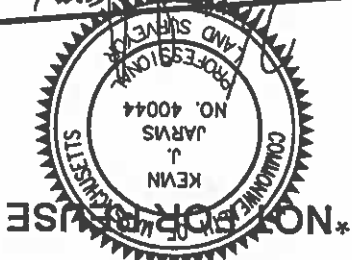
1. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE

ASSESSORS MAP 34

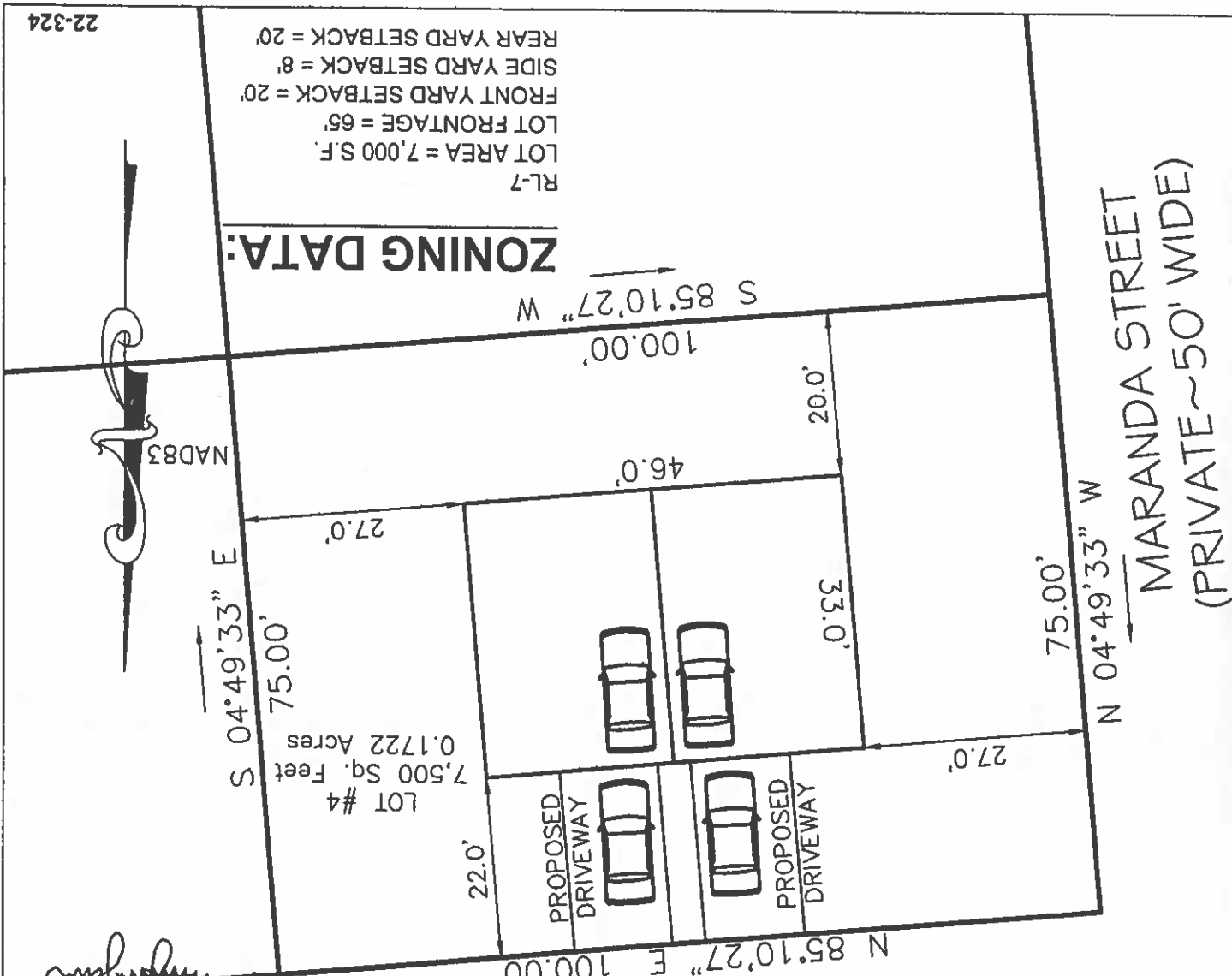
BLOCK 10 LOT 4

9-14-2022

2. THIS PLAN HAS NOT BEEN PREPARED FOR RECORDING PURPOSES.
3. THE LICENSED MATERIAL CONTAINS VALUABLE PROPRIETARY INFORMATION BELONGING EXCLUSIVELY TO JARVIS LAND SURVEY, INC. THE LICENSED MATERIAL AND THE INFORMATION CONTAINED THEREON ARE COPYRIGHTED INSTRUMENTS OF PROFESSIONAL SERVICES AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PROJECT OTHER THAN THAT FOR WHICH THEY WERE CREATED, WITHOUT THE EXPRESS WRITTEN CONSENT OF JARVIS LAND SURVEY, INC. YOU AGREE NEVER TO REMOVE ANY NOTICES OF COPYRIGHT, NOR TO REPRODUCE OR MODIFY THE LICENSED MATERIAL.



SIMONE STREET (PRIVATE)



PLAN SHOWING PROPOSED DUPLEX

**PREPARED FOR
JAE WOR, LLC
LOT 5 SIMONE STREET
WORCESTER, MASSACHUSETTS**

SEPTEMBER 14, 2022

SCALE: 1 INCH = 30 FEET

JARVIS LAND SURVEY, INC
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
TEL. (508) 842-8087
FAX. (508) 842-0661
KEVIN@JARVISLANDSURVEY.COM

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ZONING DATA:

RL-7
LOT AREA = 7,000 S.F.
LOT FRONTAGE = 65'
FRONT YARD SETBACK = 20'
SIDE YARD SETBACK = 8'
REAR YARD SETBACK = 20'

NAD83



9-14-2022

ASSESSORS MAP 34
BLOCK 10 LOT 4

VALMOR STREET
(PUBLIC ~ 50 WIDE)

75.00'

S 04°49'33" E

PROPOSED DRIVEWAY
33.5'

PROPOSED DRIVEWAY
33.5'

14.5'

N 85°10'27" E

100.00'

33.0'

46.0'

LOT #5
7,500 Sq. Feet
0.1722 Acres

75.00'

N 04°49'33" W

S 85°10'27" W

100.00'

14.5'

PLAN SHOWING PROPOSED DUPLEX

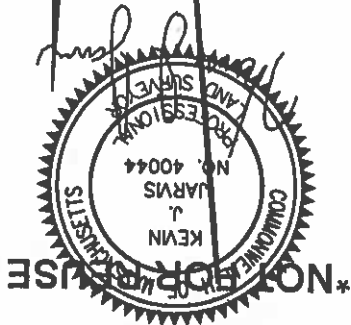
**PREPARED FOR
JAE WOR, LLC
LOT 6 SIMONE STREET
WORCESTER, MASSACHUSETTS
SEPTEMBER 14, 2022**

SCALE: 1 INCH = 30 FEET

**JARVIS LAND SURVEY, INC
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
TEL. (508) 842-8087
FAX. (508) 842-0661
KEVIN@JARVISLANDSURVEY.COM**

**ASSESSORS MAP 34
BLOCK 10 LOT 4**

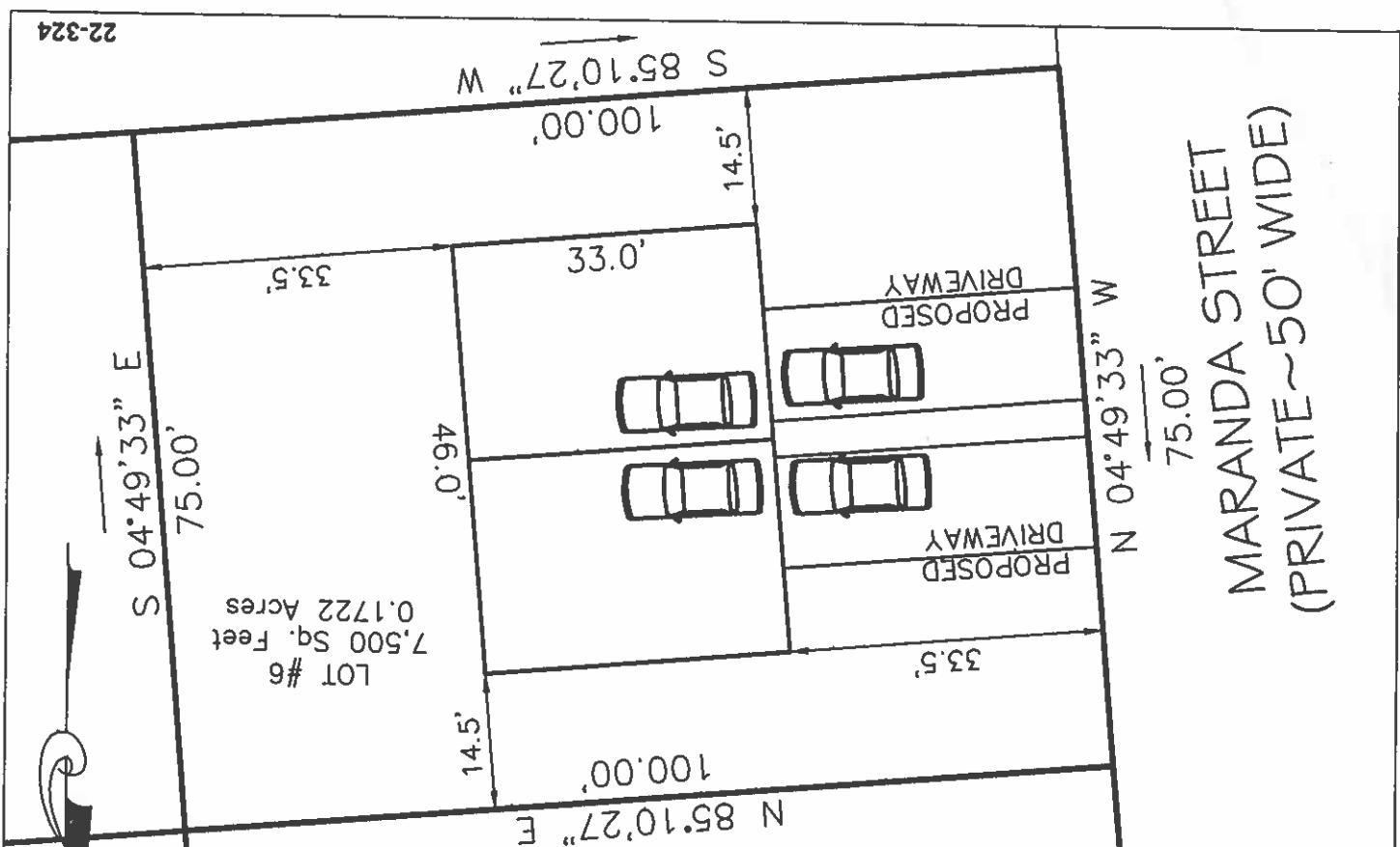
9-14-2022



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3. THE LICENSED MATERIAL CONTAINS VALUABLE PROPRIETARY INFORMATION BELONGING EXCLUSIVELY TO JARVIS LAND SURVEY, INC. THE LICENSED MATERIAL AND THE INFORMATION CONTAINED THEREON ARE COPYRIGHTED INSTRUMENTS OF PROFESSIONAL SERVICES AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PROJECT OTHER THAN THAT FOR WHICH THEY WERE CREATED, WITHOUT THE EXPRESS WRITTEN CONSENT OF JARVIS LAND SURVEY, INC. YOU AGREE NEVER TO REMOVE ANY NOTICES OF COPYRIGHT, NOR TO REPRODUCE OR MODIFY THE LICENSED MATERIAL.

ZONING DATA:

RL-7
LOT AREA = 7,000 S.F.
LOT FRONTAGE = 65'
FRONT YARD SETBACK = 20'
SIDE YARD SETBACK = 8'
REAR YARD SETBACK = 20'



**MARANDA STREET
(PRIVATE ~50' WIDE)**